

ZONING REGULATIONS AND DESIGN STANDARDS



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May 2016 Update



INTRODUCTION

The Kings Landing Regional Center and Auburn Road Village Zoning Regulations and Design Standards are an interrelated set of plans, diagrams, photographs, tables and text which specify the design and intent of each Center.

PURPOSE

The purpose of this Ordinance is to provide Zoning Regulations and Design Standards that are to be used in combination with the open space and circulation plans to promote the creation and sustainability of mixed use walkable communities and neighborhoods along the Route 322 Corridor and within the Auburn Road area of Woolwich Township, New Jersey. The Zoning Regulations and Design Standards address development sectors within the Kings Landing Regional Center and the Auburn Road Village. Sectors have been identified and are designed to promote stability and sustainability to the concept of the community of the twenty-first century as they are designed to accommodate the growth of both regional and local services – some pedestrian oriented, some automobile oriented – and provide employment, civic and residential choices for communities of up to 3,200 residential units and roughly 5 to 6 million square feet of retail/commercial space.

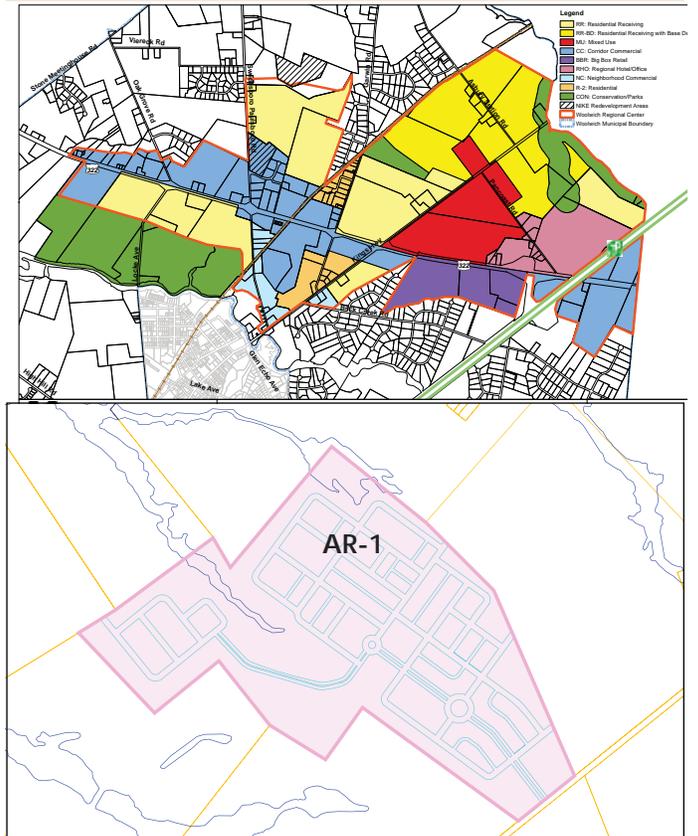
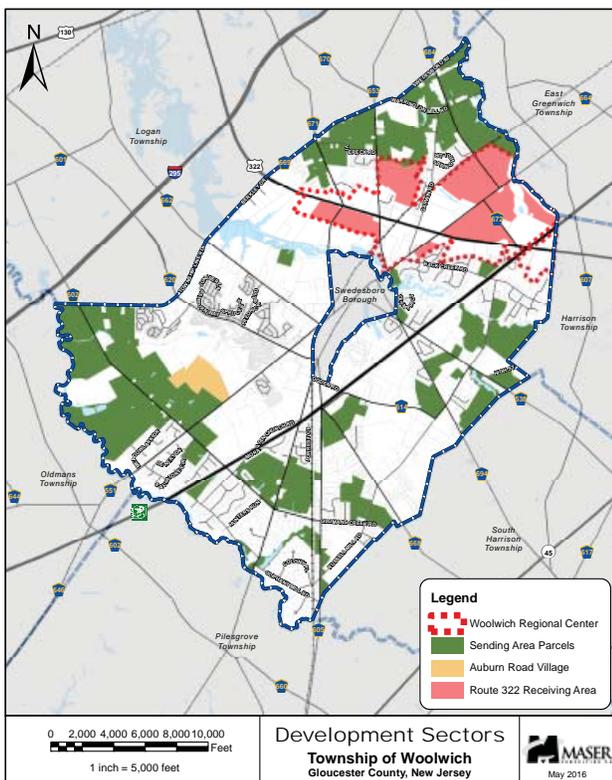
Subsectors

The Woolwich Regional Center:

- Residential Receiving (RR)
- Residential (R-2)
- Neighborhood Commercial (NC)
- Corridor Commercial (CC)
- Residential Receiving with base density (RR-BD)
- Mixed Use (MU)
- Big Box Retail (BBR)
- Regional Hotel & Office (RHO)
- Conservation (CON)
- Regional Center Overlay (RC-3) (optional)

The Auburn Road Village:

- Mixed Use Commercial/Residential Walkable Neighborhood Center (AR-1)



The regulations and standards within this Ordinance address location, mixture and intensities of permitted uses, as well as site planning and architectural controls designed to promote vibrant urban form consistent with the visioning process undertaken by Woolwich Township officials, civic leaders and citizens.

This is NOT a document about architectural style. By style we mean such descriptive terms as “colonial”, “victorian”, “modern”, “post modern”, etc. While each of us may have a collective memory of a place or places where such styles have elicited positive experiences of community, the history of human settlement instructs us that basic design considerations independent of “architectural style” are determinants of successful human scale community building. Good design promotes healthy community of place. The tenants of good design expressed in this document are based on seven principles:

Principles



Scale: The visual arrangement and massing of buildings, voids and landscape elements that promote walkability and other alternative forms of transportation, a sense of place and a human scale rather than auto-oriented suburban sprawl.



Rhythm: A pattern of façade and streetscape elements that discourages monotony and creates an inviting pedestrian environment and visual compatibility with buildings and places.



Edges: Physical elements that define a place and provide transition to adjacent areas.



Colors and Materials: The visible components of buildings and streetscapes including siding, trim, doors, windows, gutters, downspouts, roofing and all other architectural and site elements. They must be in context with their environment and must be sustainable, low maintenance, durable and tactile.



Density: The proximity at which a community lives, works and plays together.



Choice: The provision of housing, employment, retail, recreation and other services for people of all ages and lifestyles.



Diversity: A variation of scale, rhythm, materials, density and choice that provide an array of options for all people.

The local visioning process has identified a series of goal statements, as outlined below, which are to be considered in the review of all development applications involving lands located within the mapped Kings Landing Regional Center and the Auburn Road Village. Requests for variances, waivers and/or deviations from the Ordinance provisions of this code shall be evaluated in the context of the impact the same may have on the following goal statements:

Goals

- Promote traditional neighborhood developments where the physical, visual and spatial characteristics are established and reinforced through the consistent use of compatible urban design and architectural design elements. Such elements shall relate characteristics of an individual structure or development to other existing or planned structures or developments in a harmonious manner, resulting in an overall development pattern and streetscape.
- Encourage innovative mixed use and multiple use plans so that the housing demand of varying age groups, families and income levels may be met by greater variety of type, design and layout of dwellings and by the construction and more efficient use of open space. To that end, the goal is to create smaller lots than currently exist in Woolwich Township to accommodate a mixture of single-family detached units, twins, townhouses, condominium flats and apartment flats above commercial and office uses which are to be integrated into the plan.
- Promote the creation of neighborhoods and districts that are distinct and identifiable in landscape, architecture and public space elements.
- Encourage the development of “sustainable” community identified by economic and fiscal balance, social integration and maximization of water and energy conservation through the use of passive and active technologies.
- Encourage land development practices that will promote the public health, safety, and welfare by creating neo-traditional land use alternatives to conventional, use segregated “suburban sprawl”, such as larger lot subdivisions and strip commercial developments.
- Discourage uses and design patterns that tend to contribute to traffic congestion through the dependence on private automobiles.
- Establish a comprehensive street and path network based on the principles of the grid to accommodate an integrated multi-modal transportation system with the intent of providing a safe pedestrian environment and pedestrian paths.
- Alleviate undue traffic congestion by reducing excessive sprawl of development and the segregation of land uses which result in the inefficient use of land and which necessitates the use of private vehicles.
- Encourage creative Green Technologies integrated into public spaces and private development parcels to achieve flood control, stormwater recharge and water filtration in an effort to preserve an indispensable natural resource.
- Allow for the directing of additional development through Transfer of Development Rights (TDR) in an effort to preserve the remaining rural, historic and agricultural character of Woolwich Township.

HOW TO USE THIS DOCUMENT

This document outlines the purpose of the Zoning Regulations and Design Standards and identifies the tenets of good design based upon specific principles. It also contains a series of goal statements that must be considered in the review of all development applications. Specifically, this document acts as an enabling ordinance which contains a development process section, phasing rules, general standards and definitions, a listing of principal and accessory uses, bulk and area regulations for all permitted uses, design standards and a street regulating plan. Further detailed rules associated with street layout and design, stormwater management, and parking and open space are found in other sections of this Ordinance.

The Zoning Regulations and Design Standards are an interrelated set of plans, diagrams, photographs, tables and text which specify the design and intent of the Kings Landing Regional Center and the Auburn Road Village.

Steps for Developing Land

Step 1 Review sections related to the variance, waiver and/or deviation process, phasing rules and general standards and definitions.

Step 2 Review enabling ordinance section including specifics on implementation. Specifics on implementation is the text which explains how regulations that are specified within the document will be implemented. This is the legal language that clarifies the regulations.

Step 3 Review total number and types of residential units, densities and square footage of non-residential uses.

Step 4 Review bulk, area, and design regulations for each land use and building type that specifically addresses the following categories: **town scale**, **block scale**, **site scale**, **public realm** and **private realm** in relationship to architecture and design, parking, edges and buffers and the environment.

The **town scale** shows the location of a particular permitted use in the Route 322 Corridor and Auburn Road area and its relationship to Center-wide features. The **block scale** specifies tract and block dimensions, sidewalk and planting strip widths, mid-block crossings, street lighting and street furniture, architectural elements, public space and right-of-way considerations as well as issues of rhythm, scale and building orientation.

The **site scale** identifies typical area and bulk regulations pertaining to lot area, width and depth, building and impervious coverage, building setbacks, fencing, open space and stormwater considerations.

The **public realm** identifies the outside features of the architecture of buildings on each lot including height, elevations, window-to-eave offsets, façade fenestration, rhythm breaks, porches, and other related matters.

The **private realm** identifies building factors related to rear deck and outdoor space areas, chimney materials, upper floor breezeways, stoops, awnings, solar screens, balconies and permitted uses internal to the structure.

Step 5 The Land Use Master Plan maps for both areas are the legal maps which are part of this document. They are the regulating plans for the design of both Centers. All regulations in this document are derived from these maps. It reflects the location of streets, avenues and boulevards, open space and parks, retail and mixed use buildings within both Centers.

town



block



site



public



private



LEGISLATIVE INTENT

This Ordinance is intended to create the standards and requirements for the Kings Landing Regional Center and the Auburn Road Village, which have been contemplated in some form by the Township dating back to 2003. The Township Committee seeks to create mixed use, neo-traditional neighborhoods with public uses and open space areas designed to serve as both passive and active amenities.

Both Centers are also intended to integrate themselves with newly-developed lands and with existing properties in and around the existing Route 322 Corridor and Auburn Road Area, some of which are presently commercial and some of which are residential. It is intended that most of these existing properties will eventually be converted to some form of mixed uses or complimentary stand alone developments.

The Township Committee and Joint Land Use Board have promulgated a series of policy statements as listed below, which are to be considered in reviewing all development applications involving lands located in both the Kings Landing Regional Center and the Auburn Road Village.

Policy Statements

- Develop new mixed use communities, which reflect the traditional character of this evolving rural Township.
- Require whenever possible the interconnection of existing and proposed uses so as to create integrated neighborhoods and a greater sense of community by using design techniques that provide for modified grid patterns accentuated with special more grand avenues.
- Provide a layout of streets and open space edges which encourage pedestrian interconnections to residential, civic and commercial uses within a ½ mile walking distance.
- Provide a clearly articulated and rationally designed open space system which consists of both integrated and peripheral active and passive parks.
- Extend greater opportunities for housing, commercial and recreational facilities to all residents of the Township.
- Encourage a more efficient use of land and public services by directing development in a pattern that resembles a traditional mixed-use development with varied housing types.
- Provide an approval, which will require the development to relate the type, design, and layout of residential development on any site to the surrounding environs and context, and to the Township's goal of encouraging mixed use, neo-traditional development in a manner sensitive to the preservation or enhancement of property within existing residential areas.
- Establish policies and procedures intended to promote flexibility for the marketability of dwelling unit types while requiring the maintenance of the underlying integrity of the plan in an efficient and expedient forum.
- Discourage generic, modern suburban development that bears no relation to the historic development pattern of the Township and Gloucester County while promoting the creation of new neighborhoods and developments that exhibit the design features of neo-traditional neighborhoods and small towns in the County.
- Promote the creation of places which are oriented to the pedestrian, promote citizen security, and social interaction.
- Establish community plazas and squares which act as focal points of activity and interaction for both commercial and residential neighborhoods.
- Promote developments with visual and spatial characteristics as expressed in the components of the regulating plan and site plan and design standards.
- Incorporate a land use component specifically addressed to the needs of senior citizens.
- Develop a plan that addresses the fiscal imbalance of current zoning and provides a phasing of development in a fiscally responsible manner.
- Accommodate both the need and desire for the automobile in community planning.

GENERAL PROVISIONS

This Ordinance shall supersede any of the other provisions of the Township Subdivision and Land Development Ordinance or zoning ordinances as they apply to the Township as a whole. The Regulating Plan, which includes the **Land Use Element, Circulation Plan Element, Public Spaces Plan Element, Stormwater Element, and Zoning Regulations and Design Standards Element** are incorporated as companion documents herein by reference.

In the event of any inconsistencies or contradictions, this Ordinance shall be deemed as controlling over those lands located in the two Centers. The Regulating Plan shall be incorporated herein by reference as the design basis for the lands included in the Kings Landing Regional Center and the Auburn Road Village. The Regulating Plan shall be governed in its entirety by the provisions of this Ordinance with the exception that those provisions of the Township Subdivision and Site Development Ordinance and zoning ordinance specifically referenced within this Ordinance shall also apply to the zone district.

The approval or disapproval of any portion of any Center development shall be based on an interpretation of the effect of the proposed development on the surrounding properties and the zone district if the same deviates in any manner from the Regulating Plan incorporated herein by reference. In the event of a deviation from the same the determination shall be evaluated based upon the following provisions:

Provisions

- The Regulating Plan, as incorporated herein by reference shall be deemed to be the basic structure of both the Kings Landing Regional Center and the Auburn Road Village and cannot be modified without approval of the Township Committee and/or the Joint Land Use Board depending on the extent of the deviation from the provisions of the Regulating Plan.
- The regulations in this Ordinance shall be deemed to be the minimum standards applicable for the Kings Landing Regional Center and the Auburn Road Village. In the event of any requests for deviation from standards for any section of proposed development or any portion of any section of either center, Township Planner or Center Subcommittee or the Joint Land Use Board, depending upon the extent of the deviation, may require more stringent standards based on the proposed effect of the deviation on the overall Center plan or on specific areas of either development which may be impacted by the proposed deviation, in order to protect the health, safety and welfare of the citizens of the Township and the overall integrity of the plan.

PHASING PLAN

Any applicant seeking to develop properties located within the Regional Center or Auburn Road Village shall be required to provide a Phasing Schedule, which shall be subject to the review and approval by the Joint Land Use Board. The intent of the Phasing Schedule shall be to establish parameters within which permitted housing stock shall be constructed in conjunction with the construction of land use related infrastructure components.

The Joint Land Use Board shall have the discretion to develop a suitable mechanism to ensure a balanced development so as to minimize and moderate fiscal impacts on the Township which may otherwise be created by the construction of housing.

A methodology may be established based upon ratio of dwelling units to non-residential floor area or any other suitable calculation which the Joint Land Use Board deems to be appropriate in light of the intended goal of minimizing and moderating fiscal impacts.

TOWNSHIP PLANNER AND/OR CENTER SUBCOMMITTEE

The Township Committee can choose to use the professional services of the Township Planner and/or establish a Center Subcommittee to review applications for development of lands within both the Kings Landing Regional Center and the Auburn Road Village. For purposes of this ordinance and Regulating Plan, the reviewer shall be referred to as the Township Planner. The Township Planner is hereby established and acknowledged, the purpose of which shall be to review all plans for development as well as variances, waivers and/or deviations from the Regulating Plan as incorporated in this Ordinance by reference. The Township Planner shall be responsible for reviewing and providing recommendations to the Joint Land Use Board for their approval or denial for deviations from any of the aforesaid design standards set forth in the Regulating Plan and this ordinance.

In those matters involving variances, waivers and/or deviations, the applicant shall be responsible for demonstrating to the Joint Land Use Board the nature of the variances, waivers and/or deviations sought, the amount of land or building lots affected, the impact of the variances, waivers and/or deviations on the immediately surrounding area of the Kings Landing Regional Center and the Auburn Road Village and, if applicable, the effect on the overall district or subdistrict based upon the extent of the variances, waivers and/or deviations requested.

The Township Planner shall have the right to prepare and require the submission of an application checklist provided the same is adopted by the Township Committee by ordinance.

The Kings Landing Regional Center and the Auburn Road Village plans and the land uses of its subsections shall be considered as permitted uses with conditions. Those conditions being those established in the Regulating Plan, incorporated herein by reference. In the event any single property owner or consortium of property owners owns properties consisting of 15 acres or more it or they may apply to the Joint Land Use Board for General Development Plan (GDP) approval for its portions of either Center and shall be subject to the provision of N.J.S.A. 40:55D-45 et. seq. regarding GDP review and approvals. Both prop-

erty owners or consortium of property owners who obtain GDP approval and those who do not obtain a GDP approval for their property shall be required to obtain site plan and/or subdivision approval as may be required by law in addition to complying with the conditions of the within Ordinance.

The street pattern as incorporated in the Circulation Plan Element shall be deemed to be recommended with certain identified streets as required. Any application for deviation from the street pattern as established in this Ordinance shall be subject to the review and approval of the Joint Land Use Board unless said deviation is due to on-site engineering conditions certified by the Township Engineer and results only in a minor relocation of a proposed roadway as set forth in the Circulation Plan Element. In the event of such certification by the Township Engineer, the applicant shall only be required to submit the proposed deviation to the Township Planner as set forth above for its review and recommendation and potential action by the Joint Land Use Board.

All applications for development of any subsection of either the Kings Landing Regional Center or Auburn Road Village shall be required to submit a phasing schedule unless said application is for a single property of two (2) acres or less. In the event the application consist of approval for a site consisting of property exceeding said two (2) acres, and the plan pertaining to said area consists of both residential and non-residential uses, the phasing schedule shall incorporate the specific mechanism for residential applicable site so as to insure the balanced development of the property for both residential and non-residential purposes.

This Ordinance shall not be construed to alleviate the necessity of any applicant from obtaining any and all other approvals which may be required from outside agencies whether municipal, county or state agencies which would otherwise have jurisdiction over the application.

The Center Subcommittee and/or Township Planner shall be responsible for the review of architectural building style including all materials and colors.

VARIANCES, WAIVERS AND/OR DEVIATIONS FROM REGULATING PLAN

Any application seeking a variances, waivers and/or deviations from the provisions of this Ordinance may be subject to conditions at the time of approval by the Township Joint Land Use Board. All applications for such deviations must be evaluated in terms of the Goals and Policy Statements articulated and established in this Ordinance and the reasons for said deviation shall be established in any determination made by the Joint Land Use Board.

Proposed deviations shall be reviewed and approved or denied by the Joint Land Use Board based upon the following criteria:

Variance, Waiver and/or Deviation Criteria

- The design and improvement shall be in harmony with the purpose and intent of this Ordinance.
- The design and improvement shall generally enhance the street and/or building regulating plans, or, in any case, not have an adverse impact on its physical, visual, or spatial characteristics.
- The design and improvement shall generally enhance the streetscape and neighborhood, or in any case not have an adverse impact on the streetscape and neighborhood.
- The modification shall not result in configurations of lots or street systems which shall be impractical or detract from the appearance of the Center or the ability for adjacent properties to develop per the Regulating Plan.
- The proposed modification shall not result in any danger to the public health, safety, or welfare by making access to the dwellings by emergency vehicles more difficult, by depriving adjoining properties of adequate light and air, or by violating the other purposes for which zoning ordinances are to be enacted.
- Landscaping and other methods shall be used to insure compliance with the design standards and guidelines of this Ordinance.
- The minimum lot size of any lot to be created shall only be reduced below the requirements of this Ordinance by approval of the Joint Land use Board.
- The applicant shall demonstrate that the proposed modification will allow for equal or better results and represents the minimum modification necessary.
- In the event of the granting of a deviation, the Joint Land Use Board may impose such conditions it deems necessary to permit the deviation while insuring the integrity of the overall Town Center plan.

INTERPRETATION OF DEVELOPMENT STANDARDS AND GUIDELINES

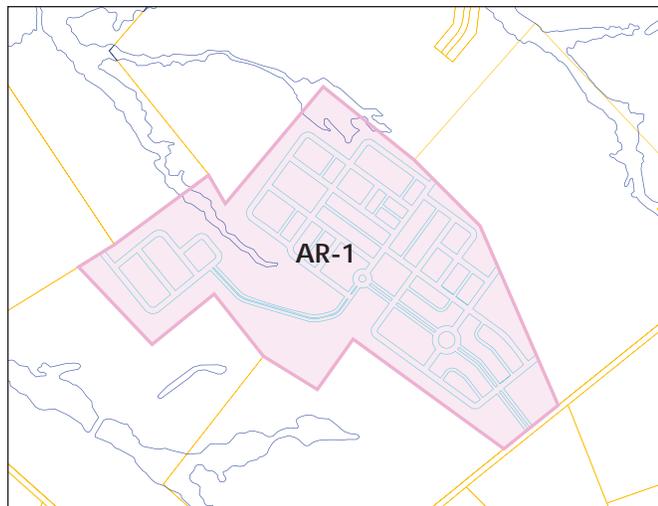
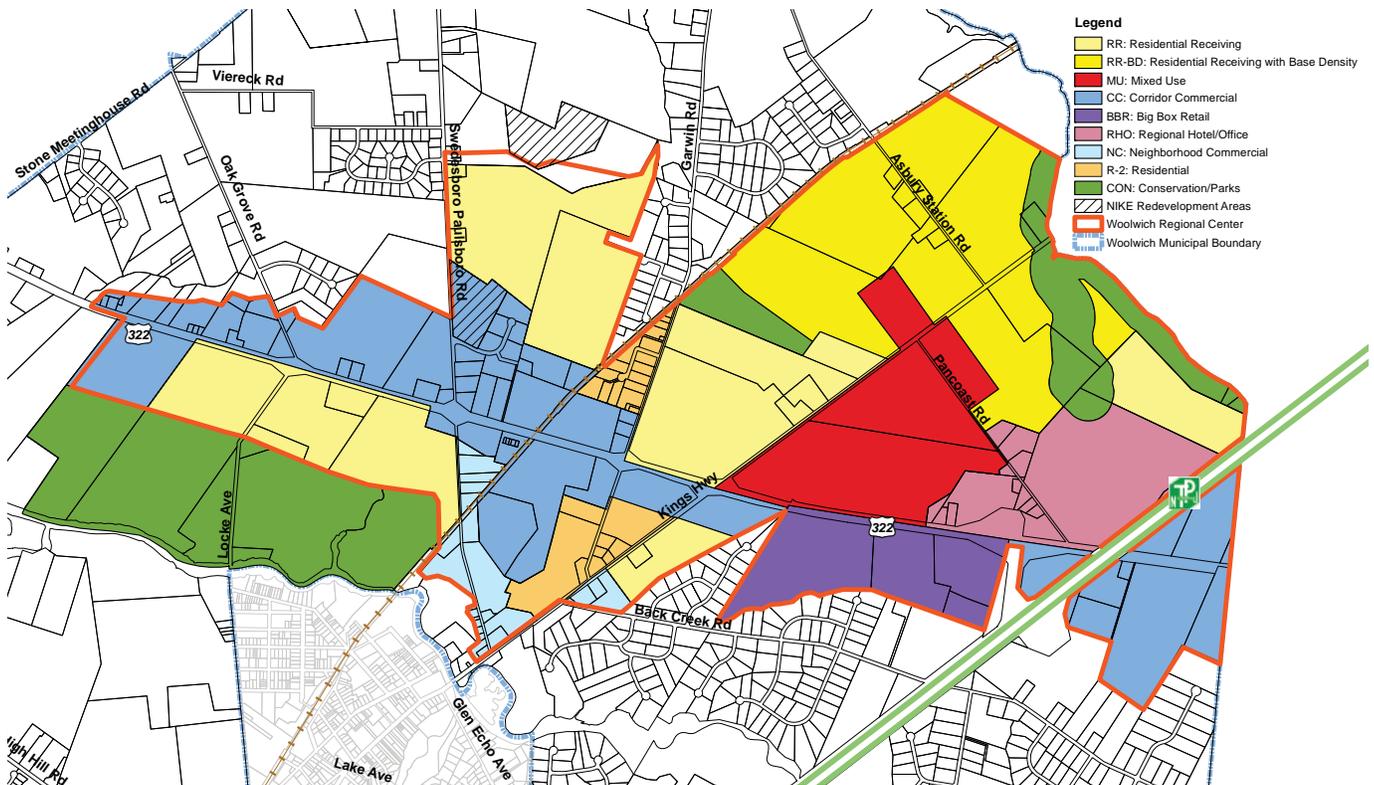
The development standards contained in the Regulating Plan and design vocabulary contained therein are both written and illustrated. The illustrations and written text are intended to be complementary and wherever an apparent inconsistency exists an applicant may apply to the Joint Land Use Board for interpretation of the Ordinance regarding such standard. Any interpretation made by the Joint Land Use Board shall be made in conjunction with the overall intent and character of the Plan as codified in the Regulating Plan.

The development standards as contained in the Ordinance sets forth specific requirements for development guidelines which are to be strictly construed. The design vocabulary shall be interpreted with the maximum degree of flexibility to promote consistency in design taking into account exceptional situations which may require unique interpretation.

CENTER SUBSECTION DELINEATION

The Kings Landing Regional Center shall be comprised of individual subsections which have been planned and designed based upon their respective locations from existing roads and utilities and existing buildings and features so as to promote a contiguous integrated Regional Center. The zone districts as proposed are set forth on

the zoning map below and appended hereto. Those districts are the RR, R-2, NC, CC, RR-BD, MU, BBR, RHO, CON, and an optional RC-3 Overlay.



As a point of comparison, the Auburn Road area has one zone, **AR-1**. This area will be discussed later in this chapter.

METHODS FOR INCREASING CENTER DENSITY

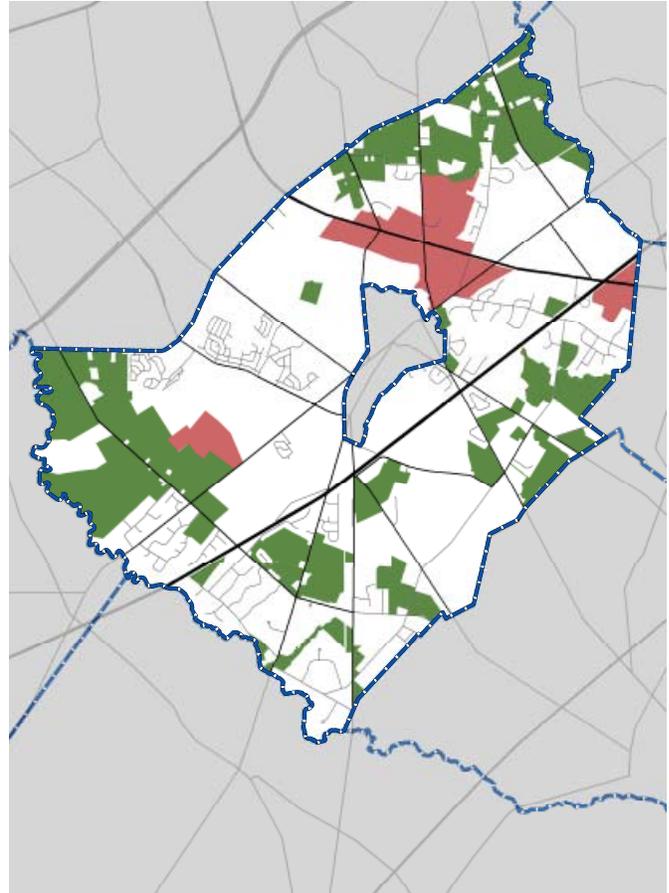
The transfer of units from another site located within the Township, which units to be transferred shall be incorporated into the density for the applicable portion of the Kings Landing Regional Center and the Auburn Road Village of the Township shall be based upon the TDR Ordinance.

The acquisition of development rights may be acquired from another site located within the Township, which units not owned by the applicant shall only be added to the base density upon evidence of the acquisition of same. Agreement shall set forth the reduction on the sending site and the proportionate increase on the receiving site, and shall be binding upon all parties as to both acquisition and reduction in density. The Township Committee shall incorporate a reference to the retirement of specific areas of land in the agreement.

The Township Committee and Joint Land Use Board may approve the inclusion of low- and moderate-income affordable housing units previously not planned for by the Township and not previously incorporated in its Housing Element and Affordable Housing Plan in order to increase density based upon this provision. The proposal to provide affordable housing units must also be approved by either the New Jersey Council on Affordable Housing (COAH) or the court as an amendment to the Township's Housing Element and Fair Share Plan. Any increase in density to be based upon this section of the Ordinance shall be determined based upon the established guidelines by either COAH or the court and ratified by the Township. The precise location and distribution of the affordable housing units, if any, and the phasing to the development of same shall be subject to the review and approval of the Township Committee and Joint Land Use Board.

Transferred units shall be allocated to designated receiving districts within the Center. The actual construction of transferred units shall however, may only occur after a site plan and/or subdivision has been the subject of final approval for that section of the Center to which the units are to be transferred.

No transfer of previously approved units located within a Center shall be made into any other designated receiving district.



LAND USES IN THE KINGS LANDING REGIONAL CENTER

The following uses are permitted uses in the Kings Landing Regional Center subject to the applicable development standards requirements as set forth in the accompanying Regulating Plan incorporated herein by reference; Residential uses within the RC-3 district shall be permitted per the Woolwich Adult Settlement Agreement, should a developer wish to develop accordingly despite the abandonment of the Agreement. Uses within the RC-3 Overlay shall be permitted otherwise.

Residential Receiving Zone (RR)

1. Permitted Uses
 - a. Residential Uses
 - i. Single-family detached
 - ii. Twin
 - iii. Townhouse
 - iv. Court townhouse
 - b. Civic green, square
 - c. Daycare establishments for children and adults
 - d. Parks and recreation facilities, including but not limited to tot lots, public playgrounds, conservation areas, tennis, basketball, football, soccer, hockey and ice skating
 - e. Public and private elementary, middle and high schools subject to the requirements of the minimum lot sizes as established by the New Jersey State Department of Education for school facilities
 - f. Civic buildings, including but not limited to post office, schools, community center, fire emergency and police station facilities, public libraries and museums
 - g. Farm and open-air markets
 - h. Utility facilities, including telephone, water, sewer, electricity and gas
 - i. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure
 - j. Independent living units for occupancy by residents of age 55 or over, including community centers and community gardens.
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses
 - a. Flag poles
 - b. Home occupations and home professional offices
 - c. Temporary building or yards for construction materials or equipment, both incidental and necessary to construction in the immediate area.
 - d. Temporary construction trailers
 - e. Temporary office or model home both incidental and necessary for the sale or rental of real property in the immediate area
 - f. Tool sheds and noncommercial greenhouses
 - g. Surface parking lots
 - h. Swimming pools on individual lots
 - i. Walls and fences

Residential (R-2)

1. Permitted Uses
 - a. Single-family detached dwellings.
 - b. Farmhouses and farm buildings.
 - c. Community residences for the developmentally disabled, community shelters for victims of domestic violence, community residences for the terminally ill and community residences for persons with head injuries shall be subject to the same standards and requirements for single-family detached residences in this district, provided that they conform to the definitions found in N.J.S.A. 40:55D-66.2.
 - d. Public and nonprofit playgrounds, athletic fields, swimming pools, conservation areas, parks and public purpose uses.
 - e. Temporary buildings, temporary construction offices and temporary storage of materials, provided that such use is located on the lot where construction is taking place or on a lot adjacent to or part of the development site and that such temporary use is to be terminated within 30 days of issuance of a final certificate of occupancy for the total project or when work is abandoned.
 - f. Building structures and uses owned and operated by the Township.
 - g. Agriculture and horticulture, including farm markets located on and operated in conjunction with farm property qualifying for farmland assessment.
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the R-2 Zone, including:
 - a. Tool sheds and noncommercial greenhouses
 - b. Swimming pools on individual lots
 - c. Walls and fences
3. Conditional Uses, including:
 - a. Home occupations as an accessory to a residential use subject to the requirements of § 203-60 and 61.
 - b. The keeping of horses or ponies, subject to the special requirements of § 203-62.
 - c. Intensive fowl or livestock farms, subject to the special requirements of § 203-67.

Neighborhood Commercial (NC)

1. Permitted Uses in the Neighborhood Commercial - NC Zone
 - a. Cafes and restaurants
 - b. Hairdressers, barbers, salons, and spas
 - c. Personal services, including but not limited to dry cleaners, laundromats, shoemakers, and tailors
 - d. Newstands
 - e. Studios for instruction, including but not limited to fitness, dance, martial arts, fine arts, and music
 - f. Florists
 - g. Churches or other places of worship
 - h. Congregate care
 - i. Utility facilities, including telephone, water, sewer, electricity and gas (RC-1, RC-2, RC-3)
 - j. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure (RC-1, RC-2, RC-3)
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the NC Zone, including:
 - a. Flag poles; clock towers
 - b. Kiosks and street vending carts
 - c. Parking structures and surface parking lots
 - d. Temporary building or yards for construction materials or equipment, both incidental and necessary to construction in the immediate area
 - e. Temporary construction trailers
 - f. Walls and fences
 - g. Signage
 - h. Outdoor/sidewalk sales and display in accordance with the conditions of this ordinance

Corridor Commercial (CC)

1. Permitted Uses in the Corridor Commercial - CC Zone
 - a. Daycare establishments for children and adults
 - b. Anchor or magnet stores, shopping centers, supermarkets, wholesale clubs, lumber, hardware and garden centers
 - c. Bakeries, confectioners
 - d. Business and household service uses including repair shops for business equipment, appliances and the shops of tradesmen such as plumbers and electricians
 - e. Delicatessen/carryout
 - f. Funeral homes and mortuaries
 - g. Greenhouses, including retail sales
 - h. Florists
 - i. Health and fitness centers; dance and exercise studios
 - j. Light industrial and assembly operations which do not have characteristics which are noxious, injurious, offensive or hazardous to the health, safety or general welfare of the public
 - k. Mechanical car wash
 - l. Offices for administrative, executive, professional, business sales, government offices and similar uses, the normal attributes of which do not involve the storage, exchange or delivery of merchandise to the general public
 - m. Office of banks and loan associations not having drive-thru facilities for the transaction of business from motor vehicles
 - n. Office of banks and savings and loan associations having drive-thru facilities for the transaction of business from motor vehicles
 - o. Office furniture and supplies, auto and rental equipment
 - p. Outpatient medical, rehabilitation or dental facilities
 - q. Personal service businesses including hair salons, tanning salons, nail salons, dry cleaning outlets, dressmaking or tailor shops, shoe repair shops and related uses except for tattoo studios and body piercing establishments
 - r. Public transportation stations and shelters
 - s. Recreational and sport facility, indoor, commercial
 - t. Rental halls for meetings and social occasions
 - u. Repair and maintenance of equipment and machines normally utilized in any of the uses permitted in this district
 - v. Restaurant, full service or fast food freestanding, no drive thru
 - w. Restaurant, full service or fast food freestanding or in multi-tenant buildings, with drive-thru or drive-thru only
 - x. Restaurant, full service or fast food in multi-tenant building, no drive thru
 - y. Retail sales and services, including newspapers, gifts, novelties, tobacco products, drugs, food, clothing, spirits, confections, florist items, books and specialty merchandise, automotive supplies and services (exclusive of service stations and repair garages), including convenience stores
 - z. Research, experimental or testing laboratories
 - aa. Veterinarian office and animal hospital
 - bb. Warehouse and distribution of goods and products, provided that no goods are sold at retail from the premises
 - cc. Automobile dealerships for new cars and trucks
 - dd. Public and commercial garages
 - ee. Utility facilities, including telephone, water, sewer, electricity and gas
 - ff. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the NC Zone, including:
 - a. Flag poles; clock towers
 - b. Parking structures
 - c. Temporary building or yards for construction materials or equipment, both incidental and necessary to construction in the immediate area.
 - d. Temporary construction trailers
 - e. Surface parking lots
 - f. Walls and fences
 - g. Signage
3. Conditional Uses, including:
 - a. Service stations and repair garages (RC-2) subject to the special requirements of § 203-66.

Residential Receiving - Base Density (RR-BD)

1. Permitted Uses in the Residential Receiving - Base Density - RR-BD Zone
 - a. Residential Uses
 - i. Single-family detached
 - ii. Twin
 - iii. Townhouse
 - iv. Court townhouse
 - iv. Residential Flats
 - b. Civic green, square
 - b. Daycare establishments for children and adults
 - c. Parks and recreation facilities, including but not limited to tot lots, public playgrounds, conservation areas, tennis, basketball, football, soccer, hockey and ice skating
 - d. Public transportation stations and shelters
 - e. Congregate care
 - f. Nursing home
 - g. Utility facilities, including telephone, water, sewer, electricity and gas
 - h. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure
 - i. Independent living units for occupancy by residents of age 55 or over, including community centers and community gardens.
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the RR-BD Zone, unless otherwise indicated), including:
 - a. Flag poles; clock towers
 - b. Home occupations and home professional offices
 - c. Temporary building or yards for construction materials or equipment, both incidental and necessary to construction in the immediate area.
 - d. Temporary construction trailers
 - e. Temporary office or model home both incidental and necessary for the sale or rental of real property in the immediate area
 - f. Tool sheds and noncommercial greenhouses
 - g. Surface parking lots
 - h. Swimming pools on individual lots
 - i. Walls and fences
 - j. Golf courses, including clubhouses with restaurants, catering facilities, and retail shops related to the golf course and associated recreational facilities including, but not limited to, swimming pools, and tennis courts

Mixed Use - MU

1. Permitted Uses in the Mixed Use - MU Zone
 - a. Residential Flats or lofts above the ground floor
 - b. Civic green, square
 - c. Daycare establishments for children and adults
 - d. Parks and recreation facilities, including but not limited to tot lots, public playgrounds, conservation areas, tennis, basketball, football, soccer, hockey and ice skating
 - e. Civic buildings, including but not limited to post office, community center, fire emergency and police station facilities
 - f. Public libraries and museums
 - g. Anchor or magnet stores, shopping centers, supermarkets, wholesale clubs, lumber, hardware and garden centers
 - h. Amusement, recreation and leisure uses not otherwise prohibited
 - i. Art gallery
 - j. Bakeries, confectioners
 - k. Business and household service uses including repair shops for business equipment, appliances and the shops of tradesmen such as plumbers and electricians
 - l. Delicatessen/carryout
 - m. Dinner theaters
 - n. Farm and open-air markets
 - o. Greenhouses, including retail sales
 - p. Florists
 - q. Health and fitness centers; dance and exercise studios
 - r. Medical and dental clinics
 - s. Offices for administrative, executive, professional, business sales, government offices and similar uses, the normal attributes of which do not involve the storage, exchange or delivery of merchandise to the general public
 - t. Office of banks and loan associations not having drive-thru facilities for the transaction of business from motor
 - u. Personal service businesses including hair salons, tanning salons, nail salons, dry cleaning outlets, dressmaking or tailor shops, shoe repair shops and related uses except for tattoo studios and body piercing establishments
 - v. Public transportation stations and shelters
 - w. Recreational and sport facility, indoor, commercial
 - x. Rental halls for meetings and social occasions
 - y. Restaurant, full service or fast food freestanding or in multi-tenant building, no drive thru
 - z. Retail sales and services, including newspapers, gifts, novelties, tobacco products, drugs, food, clothing, spir-its, confections, florist items, books and specialty merchandise, automotive supplies and services (exclusive of service stations and repair garages), including convenience stores
 - aa. Sidewalk cafes
 - bb. Taverns and nightclubs serving legal beverages
 - cc. Theaters for motion pictures and live performances
 - dd. Public and commercial garages
 - ee. Utility facilities, including telephone, water, sewer, electricity and gas
 - ff. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure
 - gg. Any combination of the above
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the MU Zone, unless otherwise indicated), including:
 - a. Flag poles; clock towers
 - b. Home occupations and home professional offices
 - c. Kiosks and street vending carts
 - d. Parking structures
 - e. Temporary building or yards for construction materials or equipment, both incidental and necessary to con-struction in the immediate area.
 - f. Temporary construction trailers
 - g. Temporary office or model home both incidental and necessary for the sale or rental of real property in the immediate area
 - h. Surface parking lots
 - i. Swimming pools on individual lots
 - j. Walls and fences
 - k. Outdoor/sidewalk sales and display in accordance with the conditions of this ordinance
 - l. Signage

Big Box Retail - BBR

1. Permitted Uses in the Big Box Retail - BBR Zone
 - a. Anchor or magnet stores, shopping centers, supermarkets, wholesale clubs, lumber, hardware and garden centers
 - b. Public transportation stations and shelters
 - c. Recreational and sport facility, indoor, commercial
 - d. Restaurant, full service or fast food freestanding or in multi-tenant buildings, with or without drive-thru
 - e. Theaters for motion pictures and live performances
 - f. Utility facilities, including telephone, water, sewer, electricity and gas
 - g. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the BBR Zone, unless otherwise indicated), including:
 - a. Flag poles; clock towers
 - b. Parking structures
 - c. Temporary building or yards for construction materials or equipment, both incidental and necessary to construction in the immediate area.
 - d. Temporary construction trailers
 - e. Surface parking lots
 - f. Walls and fences
 - g. Outdoor/sidewalk sales and display in accordance with the conditions of this ordinance
 - h. Signage
3. Conditional Uses, including:
 - a. Service stations and repair garages (RC-2) subject to the special requirements of § 203-66.

Regional Hotel & Office - RHO

1. Permitted Uses in the Regional Hotel & Office - RHO Zone
 - a. Hotels, extended stay conference centers
 - b. Offices for administrative, executive, professional, business sales, government offices and similar uses, the normal attributes of which do not involve the storage, exchange or delivery of merchandise to the general public
 - c. Office of banks and loan associations not having drive-thru facilities for the transaction of business from motor vehicles
 - d. Public transportation stations and shelters
 - e. Utility facilities, including telephone, water, sewer, electricity and gas
 - f. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure.
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the RHO zone, unless otherwise indicated), including:
 - a. Flag poles; clock towers
 - b. Parking structures
 - c. Temporary building or yards for construction materials or equipment, both incidental and necessary to construction in the immediate area.
 - d. Temporary construction trailers
 - e. Health and fitness centers accessory to hotels and for use by hotel guests
 - f. Surface parking lots
 - g. Swimming pools on individual lots accessory to hotel uses
 - h. Walls and fences
 - i. Rental halls for meetings and social occasions accessory to hotel uses
 - j. Restaurant, full service or fast food with no drive thru accessory to hotel uses
 - k. Taverns and nightclubs serving legal beverages accessory to hotel uses
 - l. Signage

Conservation - CON

1. Permitted Uses in the Conservation - CON Zone
 - a. Conservation areas
 - b. Where permitted, trailways, waterways, bikeways, recreation fields
2. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the CON zone, unless otherwise indicated), including:
 - a. Flag poles
 - b. Surface parking lots, to the extent permitted by environmental regulations
 - c. Walls and fences
 - d. Signage for park or conservation uses

Permitted Uses - "RC-3 Overlay" uses

1. Residential Uses in RC-3 Overlay, including any of the following unless specifically noted otherwise:
 - a. Single-family detached
 - b. Twin
 - c. Townhouse
 - d. Court townhouse
 - e. Flats or lofts
2. Civic Uses in RC-3 Overlay, including unless specifically noted otherwise:
 - a. Civic green, square
 - b. Daycare establishments for children and adults
 - c. Parks and recreation facilities, including but not limited to tot lots, public playgrounds, conservation areas, tennis, basketball, football, soccer, hockey and ice skating
 - d. Public and private elementary, middle and high schools subject to the requirements of the minimum lot sizes as established by the New Jersey State Department of Education for school facilities
 - e. Civic buildings, including but not limited to post office, community center, fire emergency and police station facilities
 - f. Public libraries and museums
3. Non-residential Uses in RC-3 Overlay, including unless specifically noted otherwise:
 - a. Anchor or magnet stores, shopping centers, supermarkets, wholesale clubs, lumber, hardware and garden centers
 - b. Amusement, recreation and leisure uses not otherwise prohibited
 - c. Art gallery
 - d. Bakeries, confectioners
 - e. Big Box retail
 - g. Delicatessen/carryout
 - h. Dinner theaters
 - i. Farm and open-air markets
 - j. Florists
 - k. Health and fitness centers; dance and exercise studios
 - l. Hotels, extended stay conference centers
 - m. Medical and dental clinics
 - n. Mixed use with residential
 - o. Mixed use without residential
 - p. Offices for administrative, executive, professional, business sales, government offices and similar uses, the normal attributes of which do not involve the storage, exchange or delivery of merchandise to the general public
 - q. Office of banks and loan associations for the transaction of business from motor vehicles
 - r. Personal service businesses including hair salons, tanning salons, nail salons, dry cleaning outlets, dressmaking or tailor shops, shoe repair shops and related uses except for tattoo studios and body piercing establishments
 - s. Public transportation stations and shelters
 - t. Recreational and sport facility, indoor, commercial
 - u. Rental halls for meetings and social occasions
 - v. Restaurant, full service or fast food freestanding
 - w. Sidewalk cafes
 - x. Taverns and nightclubs serving legal beverages
 - y. Theaters for motion pictures and live performances
 - z. Veterinarian office and animal hospital
 - aa. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure
 - bb. Churches or other places of worship
 - cc. Congregate care
 - dd. Independent living units for occupancy by residents of age 55 or over, including community centers and community gardens.
 - ee. Nursing home
 - ff. Public and commercial garages
 - gg. Utility facilities, including telephone, water, sewer, electricity and gas

4. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses in the RC-3 Overlay, unless otherwise indicated), including:
 - a. Flag poles; clock towers
 - b. Home occupations and home professional offices
 - c. Kiosks and street vending carts
 - d. Parking structures
 - e. Temporary building or yards for construction materials or equipment, both incidental and necessary to construction in the immediate area.
 - f. Temporary construction trailers
 - g. Temporary office or model home both incidental and necessary for the sale or rental of real property in the immediate area
 - h. Tool sheds and noncommercial greenhouses
 - i. Surface parking lots
 - j. Swimming pools on individual lots
 - k. Walls and fences
 - l. Outdoor/sidewalk sales and display in accordance with the conditions of this ordinance
 - m. Signage

LAND USES IN THE AUBURN ROAD VILLAGE CENTER

The following uses are permitted in the Auburn Road Village Center subject to the applicable development standards requirements as set forth in the accompanying Regulating Plan incorporated herein by reference:

Permitted Uses

1. Residential Uses, including:
 - a. Single-family detached
 - b. Single-family detached with alley
 - c. Twin
 - d. Twin with alley
 - e. Townhouse
2. Civic Uses, including:
 - a. Civic green, plaza and squares
 - b. Daycare establishments for children and adults
 - c. Parks and recreation facilities, including but not limited to tot lots, public playgrounds, conservation areas, tennis, basketball, football, soccer, hockey and ice skating
 - d. Civic buildings, including but not limited to post office, community center, fire emergency and police station facilities
3. Non-residential uses, including:
 - a. Art gallery
 - b. Bakeries, confectioners
 - c. Bed and breakfast and inns
 - d. Business and household service uses including repair shops for business equipment, appliances and the shops of tradesmen such as plumbers and electricians
 - e. Delicatessen/carryout
 - f. Farm and open-air markets
 - g. Medical and dental clinics
 - h. Mixed use with residential
 - i. Mixed use without residential
 - j. Offices for administrative, executive, professional, business sales, government offices and similar uses, the normal attributes of which do not involve the storage, exchange or delivery of merchandise to the general public
 - k. Office of banks and loan associations not having drive-thru facilities for the transaction of business from motor vehicles
 - l. Office of banks and savings and loan associations having drive-thru facilities for the transaction of business from motor vehicles
 - m. Outpatient medical, rehabilitation or dental facilities
 - n. Personal service businesses including hair salons, tanning salons, nail salons, dry cleaning outlets, dressmaking or tailor shops, shoe repair shops and related uses except for tattoo studios and body piercing establishments
 - o. Public transportation and shelters
 - p. Restaurant, full service or fast food freestanding, no drive thru
 - q. Restaurant, full service or fast food freestanding or in multi-tenant buildings, with drive-through or drive-thru only
 - r. Restaurant, full service or fast food in multi-tenant building, no drive thru
 - s. Retail sales and services, including newspapers, gifts, novelties, tobacco products, drugs, food, clothing, spirits, confections, florist items, books and specialty merchandise, including convenience stores
 - t. Sidewalk cafes

Accessory Uses

4. Customary Accessory Uses and Accessory Buildings Incidental to the Above Permitted Principal Uses (unless otherwise indicated) including:
 - a. Flag poles; clock towers
 - b. Home occupations and home professional offices
 - c. Kiosks and street vending carts
 - d. Parking structures
 - e. Temporary building or yards for construction materials or equipment, both incidental and necessary to construction in the immediate area.
 - f. Temporary construction trailers
 - g. Temporary office or model home both incidental and necessary for the sale or rental of real property in the immediate area
 - h. Tool sheds and noncommercial greenhouses
 - i. Surface parking lots
 - j. Swimming pools on individual lots
 - k. Walls and fences
 - l. Utility facilities, including telephone, water, sewer, electricity and gas
 - m. Wireless telecommunications towers and antenna located entirely within an existing building or on the roof or side of a building or attached to an existing structure
 - n. Signage

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GENERAL DEFINITIONS

Unless otherwise stated, the following words shall, for the purposes of this Ordinance, have the meaning herein indicated. Any word used in this Ordinance which is not defined herein and which is defined in other articles of the Township's Sub-division and Land Development Ordinance shall, for the purpose of this Ordinance, have the meaning defined herein.

Allee: A regularly spaced and aligned row of trees usually planted along a street or pedestrian path.



allee

Artisanal Workshop: Shops of special trade including the manufacturing, compounding, assembly, processing, packaging or similar treatment of such products as: baked goods, candy, ceramics, pottery, china, weaving and other textile arts, painting, cooperage, woodworking, and other artistic endeavors and similar trades. Retail sales of products made on the premises are encouraged.

Arbor: An open framework structure that forms a shelter, gateway framework or bower. Its primary purpose is to be a semi-architectural place for climbing plants to grow, while providing shaded seating, directional form to frame a view or to create a private out-of-doors area. An arbor can be arched or square-topped. It differs from a gazebo in that its roof area is open to the elements, while a gazebo traditionally has a solid roof that protects those seated beneath it from the elements.



arbor

Awning: An ancillary lightweight structure usually of canvas, cantilevered from a façade providing shade to the fenestration and spatial containment to the pedestrian. Awnings, to be an effective adjunct to a shop front, must thoroughly overlap the sidewalk and should be no higher than 10 feet at the front edge of the sidewalk.

Balcony: A platform that projects from the wall of a building and is surrounded by a railing or balustrade.

Bio swale: Landscape element designed to remove silt and pollution from surface runoff water. It consists of a swaled drainage course with gently sloped sides and filled with vegetation, compost and/or riprap. The water's flow path, along with the wide and shallow ditch, are designed to maximize the time water spends in the swale, which aids in the trapping of pollutants and silt.

Block: The aggregate of private lots, passages, rear lanes and alleys, circumscribed by public streets.

Breezeway: A covered passage one story in height connecting a main structure and an accessory building.

Building Height: The vertical dimension of a building measured from the average elevation of the finished lot grade at the front of the building to the highest point of the ceiling of the top story in the case of a flat roof, to the decline of a flat roof, to the decline of a mansard roof and to the average height between the plate and ridge of a gable, hip or gambrel roof. In measuring the height of a building, the following structures shall be excluded; chimneys, cooling towers, elevator bulkheads, penthouses, tanks, water towers, radio and television towers, ornamental cupolas, domes, or spires, and parapet walls not exceeding 4 feet in height.



bio swale



bus rapid transit (BRT)

Bus Rapid Transit (BRT): A mode of public transportation that combines the quality of rail transit and the flexibility of buses. It can operate on exclusive transitways, high occupancy vehicle (HOV) lanes, expressways or ordinary streets. A BRT system combines intelligent transportation systems technology, priority for transit, rapid and convenient fare collection and integration with land use policy in order to substantially upgrade bus system performance.

Bus Stop Shelter/Transit Shelter: A freestanding structure, located on a bus transit route, which is designed to accommodate embarking and disembarking bus transit passengers.

Civic: The term defining not-for-profit organizations and uses dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

Civic Building: A building designed specifically for a civic function.

Civic Green or Plaza or Square: Public spaces located within the Township and its neighborhoods. A plaza or square may contain a civic building or space located within a primarily unpaved, formally configured, small public lawn or park. Portions may be linear in shape. Both types should be surrounded by canopy street trees. Situated at prominent locations and often dedicated to important events and/or citizens, plazas and squares may contain water features, amphitheater, farmers markets and in some instances play equipment and courts, but shall not include ball fields.

Civic Space: An outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constraints including the relationship between their intended use, their size, their landscaping and the building(s) defining the space.

Colonnade: A roof or building structure, extending over the sidewalk, open to the street and sidewalk except for supporting columns or piers.

Community Garden: A parcel of land used for the growing of vegetables, flowers, etc. used for human consumption but not for commercial sales. The garden area shall include but not be limited to a greenhouse, an accessory storage building, benches, a watering system and fencing.

Cornice: The top most element composed of moldings for an entablature in formal architecture orders or used alone at the roof line or ceilings.

Court: An open, unoccupied space bonded on more than two sides by the walls of the building. An inner court is a court entirely surrounded by the exterior walls of a building. An outer court having one side open to a street, alley, yard, or other permanently open space.

Court Townhouse: A side by side attached group of single-family units having a minimum of three (3) units per building. Entrances to a unit shall be from a paved courtyard area located in front of the unit. Front loaded garages shall be provided with no alleys. The courtyard area shall include some landscaping and be constructed with one (1) or combination of pavement materials, including but not limited to, decorative paving.

Decorative Paving: Paving that is made up of solid, precise, modular units, stamped concrete, seeded concrete, colored concrete or any combination of the above.

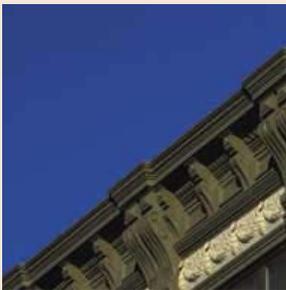
Dog Park: An enclosed outdoor area intended for the exercising and/or containment of dogs and similar animals.

Dormer: A projecting vertical structure on the slope of a roof, which provides light and headroom to the interior space.

Eave: The junction of a wall of a building and an overhanging roof. In order to encourage pitched roofs, the designated maximum building height may be measured to the eave, not to the top of the roof.

Entablature: Originally was an elaborated beam supported by columns. It now generally refers to an elaborated horizontal band along the exterior of a building. Used primarily just beneath the roof line, sometimes used on the façade between floors.

Façade: The total wall surface, including door and window area, of a building's principal face. In the case of corner buildings which front on more than one street, only one face shall be used to calculate the facade area.



cornice



dormer



fascia

Defined Terms (continued)



gable

Fascia: A projecting flat horizontal member or molding, also part of a classical entablature.

Fenestration: Window and other openings on a building façade.

Flats or Lofts: A building or portion thereof designed for occupancy by three or more families living independently in which they share common entrances and other spaces and individual units may be owned as condominiums or offered for rent.

Frieze: Used as one of the ornamentation elements of particular Greek and then Roman design. Applied to the top of a horizontal segment of a mantelpiece, which assumes temple format with side supports serving as pilasters.

Front Yard Fence: The wood picket, wrought iron or masonry fence required along the street frontage of all private lots and along common lot lines to no more than 10 feet back from the street right-of-way line.



greenway/passive park

Gable: The part of the end wall of a building between the eaves and a pitched or gambrel roof. The gable orientation shows the vertical triangular plane rather than the slope side of the roof. A gable facing towards a frontage individualizes a building more strongly than its alignment parallel to a frontage.

Garden Center: An establishment for retail sales of live plant material, fertilizers, pesticides, landscape materials, plant containers, seasonal sales of flowers, produce and holiday items including Christmas trees both live and artificial lawn ornaments, garden furniture and similar material.

Greenway: An open space corridor in largely natural conditions which may include trails for bicycles and pedestrians.

Landscape Buffer: A combination of physical space and vertical elements such as plants, berms, fences, or walls, the purpose of which is to separate and screen incompatible land uses from each other.

Landscaped Open Area or Landscaped Area: An area of land restricted to landscape items which may also include such elements as natural features, earth berms, sculpture, signs, lighting, accessways, bikeways and pedestrian walkways, but not including motor vehicle parking, extending along the entire lot line where they are required. The width of a landscape area shall be measured at right angles to the lot line.



lintel

Light Assembly: Flexible space suitable for final assembly of finished products for distribution. No manufacturing shall be associated with this use.

Light Industrial: Warehousing, wholesaling, shipping and receiving, manufacturing, assembly, processing, research, laboratory testing service, professional and governmental offices, public and quasi-public uses and other operations which do not include the production of petroleum into fuel, oil or other products or chemical processing and storage. Light Industrial uses shall not produce any corrosive, toxic, noxious fumes, glare, electromagnetic disturbances, radiation, smoke, cinders, odors, dust or waste, undue noise or vibration, or other objectionable features so as to be detrimental to the public health, safety, or general welfare, provided however that existing activities not in violation of City, State or Federal law are exempt.

Lintel: The topmost horizontal member over an opening, which helps carry weight of vertical structure above it.

Living Area: That portion of the dwelling unit utilized for living purposes within the exterior walls of the structure and does not include porches, breezeways, garages, carports, bay windows and decks.

Live/Work: A dwelling unit that contains, to a limited extent, a commercial component. A Live/Work Unit is a fee-simple unit on its own lot with the commercial component limited to the ground level.

Massing: The three dimensional bulk of a structure: height, width and depth.



parapet



porte cochere

Neo-Traditional Neighborhood: Incorporates design principles that produce compact, mixed use, pedestrian scaled communities. The following conventions are generally employed in the design of traditional neighborhoods.

1. The neighborhood is limited in area to that which can be traversed in a 10 to 15 minute walk.
2. Residences, shops, workplaces, and civic buildings are located in close proximity.
3. A well defined and detailed system of interconnected streets serves the needs of the pedestrian and the car equally, providing multiple routes to all parts of the neighborhood.
4. Physically defined open spaces in the form of plazas, squares, and parks, in addition to finely detailed public streets, provide places for formal and informal social activity and recreation.
5. Private buildings form a clear edge, delineating the private from the public realm.
6. Civic buildings reinforce the identity of the neighborhood, providing places of assembly for social, cultural, and religious activities.



portico

Parapet: A low wall encircling the perimeter of a flat building roof, generally used to screen roof-mounted mechanical equipment.

Park: Any public or private land available for recreational, educational, cultural, or aesthetic use. A park includes the following types:

1. **Adult Park:** A park that is typically developed with active recreational facilities such as field games, court games, picnicking and space for quiet/passive activities.
2. **Children's Park:** A park that is primarily oriented to children, that includes tot lots, play areas, picnic tables and other recreational facilities.
3. **Passive Park:** A park featuring passive recreation pursuits, such as interpretive programs and trail systems that take advantage of geological, biological, or scenic resources, located within the park not including recreational facilities.



rain garden

Park and Ride: A parking lot designed for drivers to leave their cars and use mass transit facilities beginning, terminating, or stopping within immediate walking distance of the park and ride facility.

Pediment: A crowning triangular element at the face of a roof or above a door opening.

Pergola: Similar to arbors, which include an open framework structure that forms a shelter. However, pergolas are commonly used to provide directional form over walkways or to create a private outdoor seating or patio area.

Pilaster: A thin segment of a square column attached on a wall, which matches in details accompanying freestanding columns or on corners of buildings.

Planter: The element of the public streetscape which accommodates street trees. Planters may be continuous or individual.

Porch: A covered but unenclosed projection from the main wall of a building that may or may not use columns or other ground supports for structural purposes.

Porte Cochere: A covered roof extending off the building façade which allows a vehicle to park under and passengers to access the house via a side stair.

Portico: An open sided structure attached to a building sheltering an entrance or serving as a semi-enclosed space.

Privacy Fence: Fences and hedges along alleys and common lot lines (behind the front wall of the building) may be as high as 8 feet above the adjacent ground. A wire fence (with wooden framework) shall have a hardy species of hedge or climbing vine planted along it.



solar screen

Defined Terms (continued)



streetscape

Public Space: Property (streets, alleys, civic greens and parks) within the public domain and physically within a town or neighborhood within which citizens may exercise their rights. At its most ideal level, public space and public buildings can be characterized as being of, for, and by the people.

Rain Garden: A planted depression that is designed to take as much as possible of the excess rainwater run-off from a house or other building and its associated landscape. The plants – a selection of wetland edged vegetation, such as sedges, rushes, ferns, shrubs and trees – absorb the excess water and then, through the process of transpiration, return water vapor into the atmosphere.

Rear Alley: A vehicular street or driveway located to the rear of lots providing access to service areas and parking, and containing utility easements. Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with curbs at the edges.

Regulating Plan: The “master plan” for the Kings Landing Regional Center and the Auburn Road Village that provides specific information for the disposition of each property or lot. The regulating plan specifies the building placement standard for each lot and shows how each building contributes to the larger center, neighborhood and village and shows the arrangement of the public space in relation to private space.

Solar Screen: A device attached to a building to provide shading for glazed areas thereof.

Street, Street Frontage, and Side Street:

1. **Street** Any street, avenue, boulevard, road, parkway, viaduct, drive or other way which is an existing state, county or municipal roadway, or which is shown upon a plat heretofore approved pursuant to law, or which is approved by official action as provided for by the Municipal Land Use Law, or which is shown on a plat duly filed and recorded in the office of the County Recording Officer prior to the appointment of a Planning Board and the grant to such Board the power to review plats; and includes the land between the street lines, whether improved or unimproved, and may comprise pavement, shoulders, gutters, curbs, sidewalks, parking areas and other areas within the street lines. Alleys shall not be considered streets.
2. **Street Frontage** refers to the lot line that coincides with the greater street right-of-way and generally the shorter lot dimensions.
3. **Side Street** is the street of the lesser Right-of-Way, generally with the longer lot line along it.

Streetscape: The design element that establishes the major part of the public realm. The streetscape is composed of streets (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building facades and elevations, porches, yards, fences, awnings, etc.), and the amenities of the public frontages (street trees and plantings, benches, streetlights, etc.)

Streetscreen: A freestanding wall built along the frontage line, or coplanar with the façade, often for the purpose of masking a parking lot from the street. Streetscreens [should] be between 3 1/2 and 8 feet in height and constructed of a material matching the adjacent building façade. The streetscreen may be a hedge or fence. Streetscreens shall have openings no larger than is necessary to allow automobile and pedestrian access. In addition, all streetscreens over 4 feet high should be 30 percent permeable or articulated to avoid blank walls.

Stoop: A ground floor entry platform at the front and/or street side of a building. Stoops, where required, may be roofed but they shall not be enclosed.



streetscreen



stoop



suburban sprawl

Suburban Sprawl: The name given to development designed according to segregated use zoning standards, and auto dependent criteria concerning access and parking. The resultant development provides for a low density landscape of independently designed uses connected by a system of hierarchical streets, which do not provide through access. A majority of the land in this model is relegated to street and parking surfaces, and although the building density and population may be low, the amount of usable open space is minimal to none, and traffic congestion is common.

Sustainable: Having the ability to accommodate and maintain population growth and economic expansion through intelligent design.

Texture: The exterior finish of a surface, ranging from smooth to coarse.

Traditional Neighborhoods: Traditional neighborhoods pursue certain objectives through their design:

1. Independence of movement for the elderly and young by bringing many activities of daily living within walking distance.
2. Reduced traffic congestion and road construction costs by reducing number and length of car trips.
3. Use or preparation for future use of alternative forms of transportation by organizing appropriate building densities.
4. Improved security of public spaces organized to stimulate informal surveillance by residents and business operators.
5. Enhanced sense of community and improved security through provision of a range of housing types and workplaces in proximity to one another.
6. Accessible places for public assembly and civic engagement by identification of suitable sites for civic buildings.



transom

Transom: A horizontal window above a door or window, usually rectangular in shape.

Trellis: Light-weight elements used for controlling the shape or to support climbing and other plants. In most instances, it is usually constructed on a flat plane, in a two-dimensional way, unlike an arbor, which is frequently a three-dimensional structure.

Townhouse: One or a group of two or more dwelling units divided from each other by vertical walls and each having separate front and rear or front and side entrances from the outside.

Twin: A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement to one other dwelling unit, each located on a separate lot, and being separated from each other by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation.



trellis

Residential Receiving (RR)

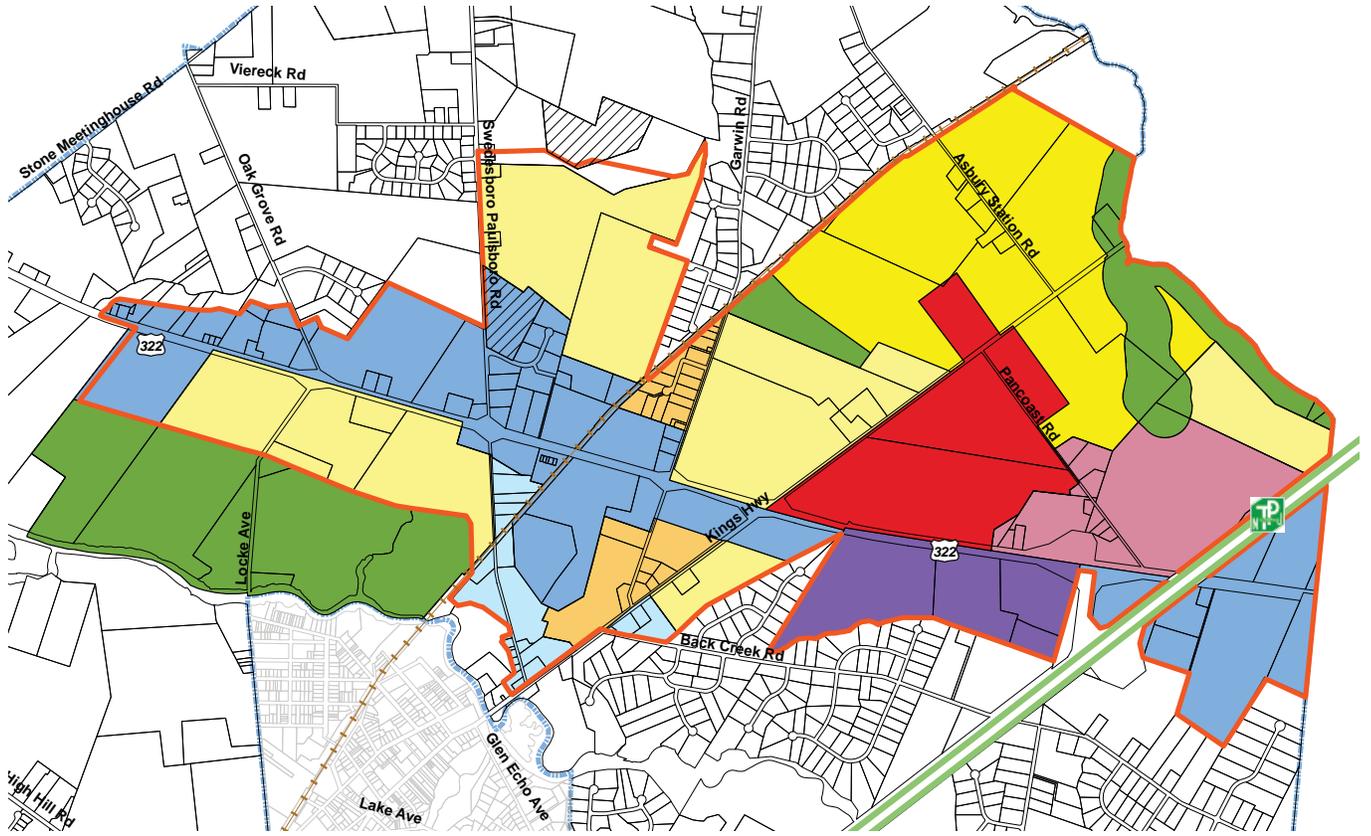


Contents

- Townhouse with Alley
- Twin (with and without Alley)
- Single-Family Detached (with and without Alley)

Residential Receiving (RR)

ZONING MAP



Legend

- RR: Residential Receiving
- RR-BD: Residential Receiving with Base Density
- MU: Mixed Use
- CC: Corridor Commercial
- BBR: Big Box Retail
- RHO: Regional Hotel/Office
- NC: Neighborhood Commercial
- R-2: Residential
- CON: Conservation/Parks
- NIKE Redevelopment Areas
- Woolwich Regional Center
- Woolwich Municipal Boundary

RR TOWNHOUSE

GOALS

To provide a mixture of unit sizes to address the needs and desires of those at various stages of life who wish to live in densities associated with townhouse living.

DEFINITION

A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement, being located on a separate lot, and being separated from adjoining dwelling unit by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation.

PHOTOS

The following examples best embody the purpose, goals and objectives of the townhouse unit:

- Bay windows work to provide street rhythm and to breakdown the horizontal scale
- Small private front yard planting softens street environment
- Windows on side façade enliven corner buildings
- Stoop provides public/private transition
- Front door accentuated in scale
- Durable materials stand up to the test of time



- On a case by case basis townhouses may be arranged in a courtyard configuration with front doors and garages facing a landscaped parking/multi-purpose court
- Modern can coexist with traditional as long as well established rules of rhythm, scale and material choice are respected
- Low garden walls define courtyard edge
- High quality landscaping and surface materials such as pavers required in courtyard



- Slight variations in dormer design reduces monotony in otherwise identical units
- Low front yard garden walls provide appropriate public/private transition
- Large mansard roof element accentuates horizontal break to respect human scale at sidewalk level
- Generous windows on front façade provides internal light while animating street and promoting safety
- Roof gardens and decks provide necessary outdoor private space

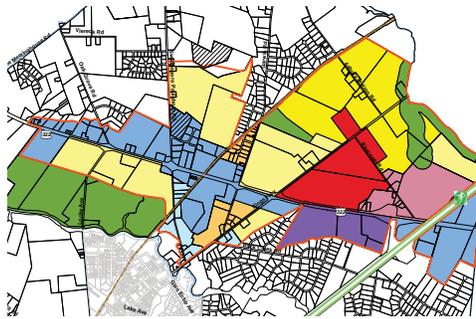


- Vertical and horizontal architectural offsets and material changes reinforce human scale at street level
- Windows turning corner of building acknowledges special location at street intersection
- Solar screens provided reduces unit energy loads and provides horizontal break
- Variations in window dimensions provide interest to the street and address scale and rhythm issues



RR TOWNHOUSE

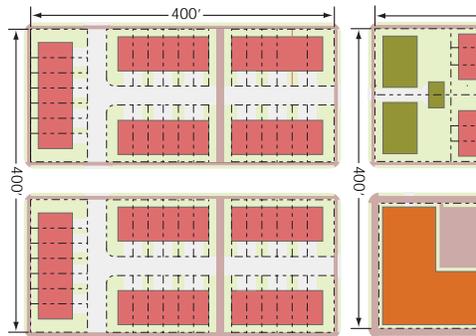
town scale



- RC-1 Acreage - 428 acres
- Maximum Number of Townhouse Units - 475 d.u..
- Density - 3.5 d.u./ac, with credits 4.45 d.u./ac
- Affordable units - min. 10%

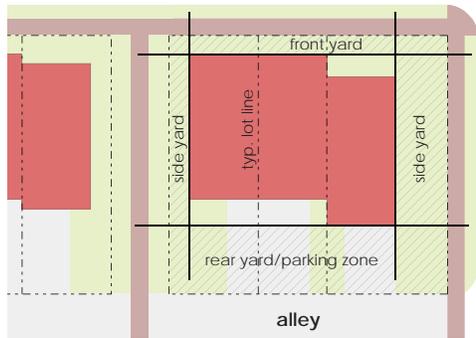
ARCHITECTURE AND DESIGN

block scale



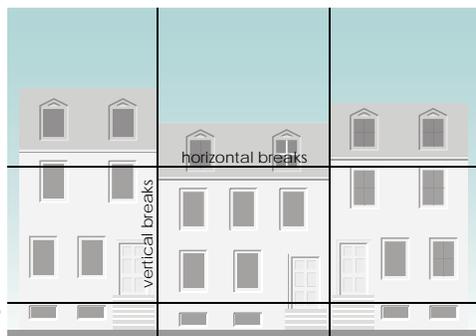
- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|---|------------|------------|--|
| • Block Length | 175' | 500' | • Contextual Neighborhood Consistency |
| • Block Perimeter | 1150' | 1800' | |
| • Sidewalk Width | 5' | 10' | • Special Architectural Features at Corners |
| • Planting Strip Width | 4' | 10' | |
| • Mid-block Crossings | | | • Public and Private Outdoor Spaces accessible and visible to the public |
| Number per block | 1 | 3 | |
| ROW width | 15' | 20' | |
| Path width | 5' | 10' | |
| • Decorative Street Lighting (Distance on Center) | 50' | 75' | |

site scale



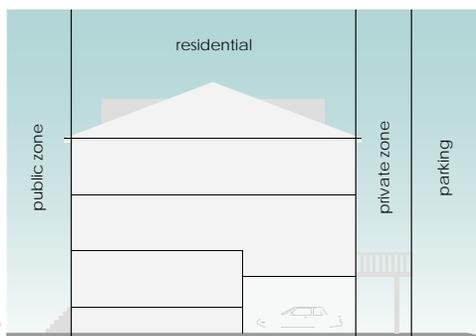
- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|-----------------------|------------|------------|---|
| • Lot Area | 1500 sf | 2625 sf | • No more than 8 units built in a row |
| • Lot Width | 20' | 30' | |
| Corner Lot | 20' | 35' | • Provide common mid-block crossing through building to rear alley if 8 units are built |
| • Lot Depth | - | 75' | |
| • Building Coverage | - | 60% | |
| • Impervious Coverage | - | 80% | |
| • Front Yard Setback | 5' | 15' | |
| • Side Yard Setback | 0' | 15' | |
| • Rear Yard Setback | 20' | - | |

public realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|-------------------------------------|------------|------------|--|
| • Building Height | 30' | 45' | • Dormers |
| • First Floor Elevation | 2' | 5' | |
| • Eave Height | 24' | 36' | • Gables |
| • Window-to-Eave Offset | 1' | - | |
| • Front Façade Fenestration | 30% | - | • Recessed Entries |
| • Side and Rear Façade Fenestration | 20% | - | |
| • Building Face or Roof Offset | 2' | - | • Cupolas or Towers |
| | | | |
| | | | • Pillars or Posts |
| | | | |
| | | | • Bay Windows |
| | | | |
| | | | • Balconies/Balconettes |
| | | | |
| | | | • Decorative Cornices |
| | | | |
| | | | • First Floor Colonnade |
| | | | |
| | | | • Decorative Patterns on Exterior Finish |
| | | | |
| | | | • Usable Open or Covered Stoops |
| | | | |
| | | | • Porticoes |

private realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|--------------------------------|------------|------------|--|
| • First Story Clear Height | 10' | 15' | • Building walls shall be Brick, Stone, Stucco or similar material |
| • Roof Pitch | - | 9/12 | |
| • Front and Side Encroachments | | | • Synthetic Trim Board |
| Stoop | - | 8' | |
| Bay Window | - | 4' | • Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material |
| Awning | - | 4' | |
| Solar Screen | - | 4' | • Roof types shall be flat, gable, gambrel, mansard, hipped, salt box or combinations thereof |
| Balcony/Balconette | - | 4' | |
| Rear Deck | - | 8' | • Exterior Chimneys shall be finished in Brick, Stone or Stucco |
| | | | |
| | | | • Chimney tops shall have decorative details |
| | | | |
| | | | • All rooftop equipment shall be screened from view |

RR TOWNHOUSE

- Townhouses are encouraged to provide architectural edges to open space
- A variety of unit sizes must be offered
- No front yard parking
- All vehicle access via alleys
- On-street parking

PARKING

	<u>min</u>	<u>max</u>
Alley Width		
ROW	22'	25'
Cartway	18'	21'
Alley Access Points	2	3
On-Street Stalls		
Length	20'	-
Width	8'	-

- Off-street parking provided through alley-loaded driveways and garages
- On-Street parking provided through parallel stalls
- Porous Pavement
- Belgian Block Curbing

EDGES AND BUFFERS

	<u>min</u>	<u>max</u>
Street Tree Spacing (Distance on Center)	36'	50'
Planting Buffers		
• Maximize uniqueness to street		
• Custom Mailbox		

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

	<u>min</u>	<u>max</u>
Ratio (spots/du)	2.5	-
Driveway Length	20'	-
Driveway Width	8'	12'

- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

	<u>min</u>	<u>max</u>
Front Yard Hedge Height	-	3'
Side and Rear Yard Fence Height	-	6'
Foundation Plantings		
• Planting Buffers between Different Land Uses		
• Parking Planting		
• Screen Ground Mounted Utility Boxes		
• Pergolas		
• Trellises		
• Arbors		

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded attached garage with windows and storage space
- Individual garage doors

	<u>min</u>	<u>max</u>
Deck Setback from Side and Rear Property Lines	10'	-
Patio Setback from Side and Rear Property Lines	5'	-
• Pools are not permitted		
• Spas are only permitted on or within a rear deck		
• Gutters shall be architecturally compatible with a building		

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

	<u>min</u>	<u>max</u>
Garage Height	10'	15'
Garage Width	14'	24'
Garage Depth	25'	-
Garage Setback	20'	-

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RR TOWNHOUSE

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- 2 foot building offsets every 60 feet minimum

Horizontal Breaks

- Material changes, horizontal banding, window lines and pediments are required
- A minimum of one (1) break is required

Roof Line

- Flat, gable, gambrel, mansard, hipped and salt box permitted
- A minimum two (2) foot offset is required every 60 feet for multiple units

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Stoops required
- Balconies encouraged
- Rear decks are required with a minimum area of 160 square feet

Accessory Structures

- None

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens are permitted
- Front stoops encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Pools are not permitted
- Spas are only permitted on or within a rear deck

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Walls, fences, hedges in front yards are prohibited
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailboxes
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- Vehicle access from alley only
- No parking in front yard

RR TWIN

GOALS

To provide a mixture of unit sizes to address the needs and desires of those at various stages of life who wish to live in densities associated with twin living.

DEFINITION

A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement to one other dwelling unit, each located on a separate lot, and being separated from each other by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation.

PHOTOS

The following examples best embody the purpose, goals and objectives of the twin unit:

- Front porches provide entry features and a sitting area to converse and interact with passers-by
- Roof offsets combined with porches help to provide appropriate scale and rhythm
- Small front yards provide adequate privacy



- Modern can coexist with traditional as long as well established rules of rhythm, scale and material choice are respected
- Generous window dimensions animate the façade and help provide appropriate vertical and horizontal scale and rhythm
- Two foot vertical offsets conform to rules of vertical offsets
- Garden wall and front garden serve as public/private transition
- Material change provides vertical breaks



- When appropriately scaled, twins can serve as transition units between townhouses and single family detached units
- Twins need not be identical
- First and second floor porches and terraces provide necessary eyes on the street and private outdoor space

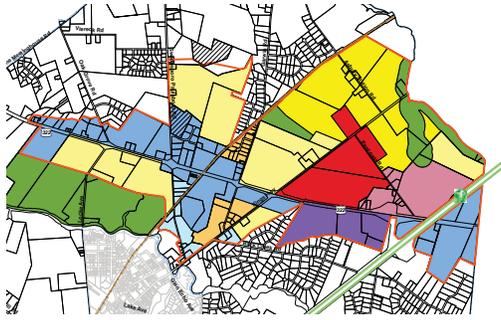


- Simple architecture following basic rules can be attractive
- Wrap around porch can add unique architectural element
- Low front yard fence provides appropriate public/private transition
- Water table element provides horizontal offset



RR TWIN

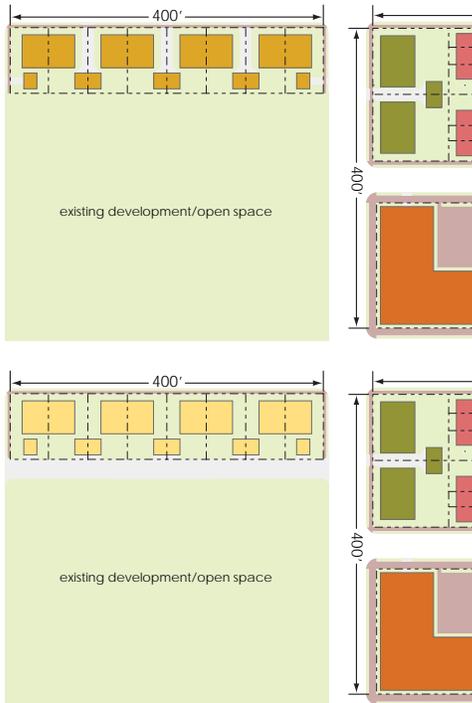
town scale



- RC-1 Acreage - 428 acres
- Maximum Number of Twin Units - 234 d.u.
- Density - 3.5 d.u./ac, with credits 4.45 d.u./ac
- Affordable units - min. 10%

ARCHITECTURE AND DESIGN

block scale
without alley
with alley



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Block Length	175'	500'	• Contextual Neighborhood Consistency • Special Architectural Features • Public and Private Outdoor Spaces
• Block Perimeter	1150'	1850'	
• Sidewalk Width	5'	10'	
• Planting Strip Width	4'	10'	• Decorative Street Lighting (Distance on Center)
• Mid-block Crossings			
Number per block	1	3	
ROW width	15'	20'	
Path width	5'	10'	
• Decorative Street Lighting (Distance on Center)	50'	75'	

site scale
without alley
with alley



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Lot Area	3000 sf	6250 sf	• Required break at party wall with adjacent twin • Vertical breaks with window treatment encouraged - bays, projections or recesses
• Lot Width	40'	-	
Corner Lot	40'	-	
• Lot Depth	75'	125'	
• Building Coverage	-	60%	
• Impervious Coverage	-	80%	
• Front Yard Setback	15'	30'	
• Side Yard Setback	10'	15'	
• Rear Yard Setback	20'	-	
• Accessory Structure Setbacks			
Rear and Side Yard	2'	5'	
Principal Building	10'	-	

- Twins found in less dense areas of neighborhoods acting as a transition between flats/townhouses and single-family detached units
- A variety of unit sizes must be offered
- No front yard parking
- On-street parking

PARKING

EDGES AND BUFFERS

ENVIRONMENT

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
• Alley Width			• Street Tree Spacing			<ul style="list-style-type: none"> • Porous Pavement and Rain Gardens encouraged for on-street parking lanes • Deciduous Street Trees encouraged to lower summer cooling load • Trees to modulate microclimate
ROW	22'	25'	(Distance on Center)	36'	50'	
Cartway	18'	21'	• Planting Buffers			
• Alley Access Points	2	3	• Maximize uniqueness to street			
• On-Street Stalls			• Custom Mailbox			
Length	20'	-				
Width	8'	-				
• Off-street parking provided through alley-loaded driveways and garages						
• On-Street parking provided through parallel stalls						
• Porous Pavement						
• Belgian Block Curbing						

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
• Ratio (spots/du)	1.5	2.5	• Front Yard Fence Height	-	3'	<ul style="list-style-type: none"> • Long-life trees encouraged to maximize green infrastructure funds • Xeriscape • Non-exotic, non-invasive species encouraged to minimize water needs • Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.
• Driveway Length	20'	-	• Front Yard Hedge Height	-	3'	
• Driveway Width	8'	12'	• Side and Rear Yard Fence Height	-	6'	
• Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement			• Foundation Plantings			
			• Planting Buffers between Different Land Uses			
			• Parking Planting			
			• Screen Ground Mounted Utility Boxes			
			• Pergolas			
			• Trellises			
			• Arbors			

RR TWIN (cont)

ARCHITECTURE AND DESIGN

public realm



	<i>min</i>	<i>max</i>	<i>design elements</i>
• Building Height	30'	45'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Balconies/Balconettes • Decorative Cornices • First Floor Colonnade • Decorative Patterns on Exterior Finish • Front Porches • Usable Open or Covered Stoops • Porticoes
• First Floor Elevation	2'	5'	
• Eave Height	24'	36'	
• Window-to-Eave Offset	1'	-	
• Front Façade Fenestration	30%	-	
• Side and Rear Façade Fenestration	20%	-	
• Building Face or Roof Offset	2'	-	

private realm



	<i>min</i>	<i>max</i>	<i>design elements</i>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Wood and Simulated Clapboard or similar material • Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles or similar material • Roof types shall be gable, gambrel, mansard, hipped, salt box or combinations thereof • Exterior Chimneys shall be finished in Brick, Stone or Stucco • Chimney tops shall have decorative details • All rooftop equipment shall be screened from view
• Roof Pitch	-	9/12	
• Front and Side Encroachments			
Front Porch	-	8'	
Stoop	-	8'	
Bay Window	-	4'	
Awning	-	4'	
Solar Screen	-	4'	
Balcony/Balconette	-	4'	
Rear Deck	-	8'	

PARKING

- Rear-loaded garage with windows and storage space
- Individual garage doors

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| • Pool and Deck Setback from Side and Rear Property Lines | 10' | - |
| • Patio Setback from Side and Rear Property Lines | 5' | - |
- In-ground Pools are permitted
 - Spas are only permitted on or within a rear deck
 - Gutters shall be architecturally compatible with a building

ENVIRONMENT

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| • Garage Height | 10' | 15' |
| • Garage Width | 14' | 24' |
| • Garage Depth | 25' | - |
| • Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RR SINGLE-FAMILY DETACHED

GOALS

To provide a mixture of unit sizes to address the needs and desires of those at various stages of life who wish to live in a walkable community with densities associated with single family detached units on small individual lots.

DEFINITION

A detached single dwelling unit on its own lot designed for or used exclusively by one family.

RR SINGLE-FAMILY DETACHED

PHOTOS

The following examples best embody the purpose, goals and objectives of the single-family detached unit:

- Bays, vertical elements, window dimensions and window locations work together to break down the scale of an otherwise large house
- Special consideration to front door design
- Sensitive use of varied materials reduces monotony and helps provide a human scale



- Porches and terraces provide necessary eyes on the street and private outdoor space-appropriate public/private transition
- Durable materials stand the test of time
- Single family still functions very well with small front yard setbacks



- Where outlined in the zoning plan driveway access from streets is permitted
- Parking and garage locations limited to backyards only
- Porous pavement provides stormwater benefit

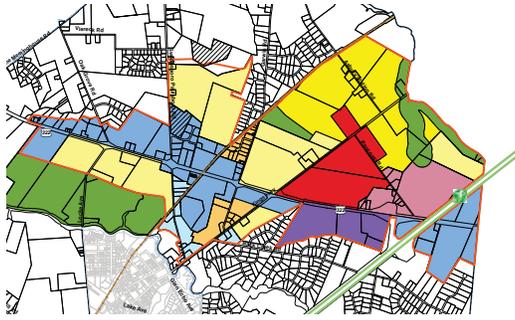


- Variety of architecture along street frontage provides personal identity and makes the journey for pedestrians more enjoyable
- Small gable ends facing the street help to reduce the scale of the house mass
- Horizontal banding helps reduce the perception of the vertical massing of the house



RR SINGLE-FAMILY DETACHED

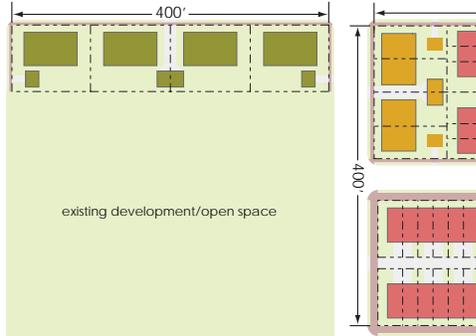
town scale



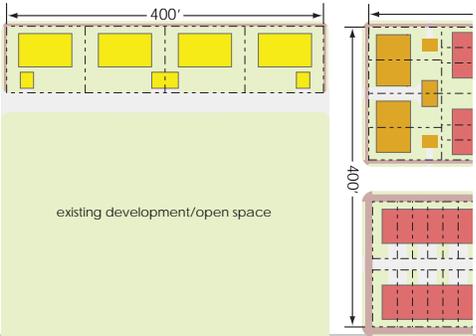
- RC-1 Acreage -428 acres
- Maximum Number of Twin Units - 475 d.u.
- Density - 3.5 d.u./ac, with credits 4.45 d.u./ac
- Affordable units - min. 10%
- 100' setbacks from US Route 322 required, regardless of yard (front, side, rear) designation.

ARCHITECTURE AND DESIGN

block scale
without alley

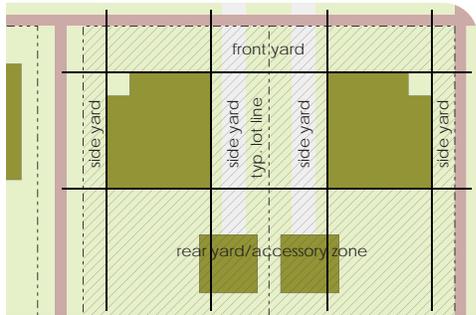


block scale
with alley



	<i>min</i>	<i>max</i>	<i>design elements</i>
• Block Length	175'	500'	• Contextual Neighborhood Consistency • Special Architectural Features • Public and Private Outdoor Spaces
• Block Perimeter	1150'	1800'	
• Sidewalk Width	5'	10'	
• Planting Strip Width	4'	10'	
• Mid-block Crossings			
Number per block	1	3	
ROW width	15'	20'	
Path width	5'	10'	
• Decorative Street Lighting (Distance on Center)	50'	75'	

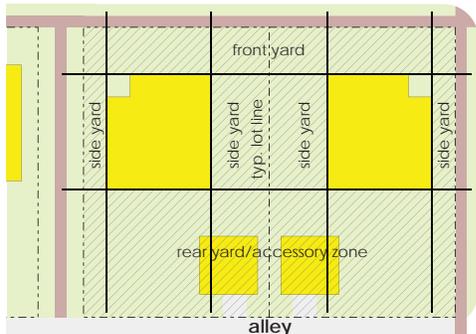
site scale
without alley



	<i>min</i>	<i>max</i>	
• Lot Area	7000 sf	12000 sf	
• Lot Width	50'	110'	
Corner Lot	50'	110'	
• Lot Depth	75'	125'	
• Building Coverage	-	50%	
• Impervious Coverage	-	60%	
• Front Yard Setback	10'	30'	
• Side Yard Setback	5'	10'	
• Rear Yard Setback	20'	-	
• Rt. 322 Setback	100'	-	
• Accessory Structure Setbacks			
Rear and Side Yard	2'	5'	
Principal Building	10'	-	

- design elements*
- Vertical breaks encouraged
 - Material Change, Window Lines and Pediments required as Horizontal Breaks

site scale
with alley



	<i>min</i>	<i>max</i>	
• Lot Area	7000 sf	12000 sf	
• Lot Width	90'	105'	
Corner Lot	90'	105'	
• Lot Depth	75'	115'	
• Building Coverage	-	50%	
• Impervious Coverage	-	60%	
• Front Yard Setback	15'	20'	
• Side Yard Setback	5'	10'	
• Rear Yard Setback	20'	-	
• Accessory Structure Setbacks			
Rear and Side Yard	2'	5'	
Principal Building	10'	-	

RR SINGLE-FAMILY DETACHED

- Single-family dwellings are the lowest density typology
- A variety of unit sizes must be offered
- No driveway access on Swedesboro-Paulsboro Road or US Route 322.
- On-street parking permitted on Swedesboro-Paulsboro Road
- Vehicle access via alley or driveway to street depending on unit location plan.

PARKING

EDGES AND BUFFERS

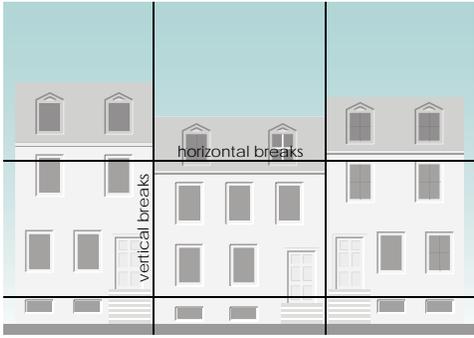
ENVIRONMENT

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
• Alley Width			• Street Tree Spacing			• Porous Pavement and Rain Gardens encouraged for on-street parking lanes
ROW	22'	25'	(Distance on Center)	36'	50'	
Cartway	18'	21'	• Planting Buffers			
• Alley Access Points	2	3	• Maximize uniqueness to street			• Deciduous Street Trees encouraged to lower summer cooling load
• On-Street Stalls			• Custom Mailbox			• Trees to modulate microclimate
Length	20'	-				
Width	8'	-				
• Off-street parking provided through driveways to street						
• On-Street parking provided through parallel stalls						
• Porous Pavement						
• Belgian Block Curbing						

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
• Ratio (spots/du)	1.5	2.5	• Front Yard Fence Height	-	3'	• Long-life trees encouraged to maximize green infrastructure funds
• Driveway Length	40'	-	• Front Yard Hedge Height	-	3'	
• Driveway Width	8'	12'	• Side and Rear Yard Fence Height	-	6'	
• Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement			• Foundation Plantings			• Xeriscape
• Garages in rear yard only			• Planting Buffers between Different Land Uses			• Non-exotic, non-invasive species encouraged to minimize water needs
			• Parking Planting			• Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.
			• Screen Ground Mounted Utility Boxes			
			• Pergolas			
			• Trellises			
			• Arbors			

RR SINGLE-FAMILY DETACHED (cont)

public realm



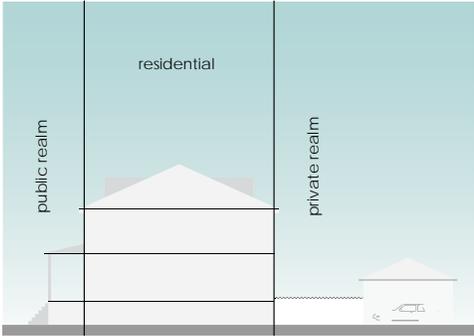
- Building Height min 30'
- First Floor Elevation max 45'
- Eave Height 3' 8'
- Window-to-Eave Offset 18' 28'
- Front Façade Fenestration 6" -
- Side and Rear Façade Fenestration 30% -
- Building Face or Roof Offset 20% -
- Window Trim Offset 16" 4"

ARCHITECTURE AND DESIGN

design elements

- Dormers
- Gables
- Recessed Entries
- Cupolas or Towers
- Pillars or Posts
- Bay Windows
- Balconies
- Decorative Cornices
- First Floor Colonnade
- Decorative Patterns on Exterior Finish
- Front Porches
- Porticoes

private realm



- First Story Clear Height min 10'
- Roof Pitch max 15' 9/12
- Front and Side Encroachments
- Front Porch - 8'
- Bay Window - 4'
- Awning - 4'
- Solar Screen - 4'
- Balcony/Balconette - 4'
- Rear Deck - 8'

design elements

- Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Wood and Simulated Clapboard or similar material
- Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material
- Roof types shall be gable, gambrel, mansard, hipped, salt box or combinations thereof
- Exterior Chimneys shall be finished in Brick, Stone or Stucco
- Chimney tops shall have decorative details
- All rooftop equipment shall be screened from view

RR SINGLE-FAMILY DETACHED

PARKING

- Rear yard garage with windows and storage space
- Individual garage doors

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| • Pool and Deck Setback from Side and Rear Property Lines | 10' | - |
| • Patio Setback from Side and Rear Property Lines | 5' | - |
- In-ground Pools are permitted
 - Spas are only permitted on or within a rear deck
 - Gutters shall be architecturally compatible with a building

ENVIRONMENT

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| • Garage Height | 10' | 15' |
| • Garage Width | 14' | 24' |
| • Garage Depth | 25' | - |
| • Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RR SINGLE-FAMILY DETACHED

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid

Building Height

- Maximum building height shall be 35 feet or 2 ½ stories

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- Required

Horizontal Breaks

- Use of material change, window lines and pediments required

Roof Line

- Gable, gambrel, mansard, hipped and salt box permitted
- Maximum length of roofline - 40 feet

Building Materials

- Wood and simulated clapboard
- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Front porches are required with minimum dimensions of 8'x10'
- Rear decks are required with a minimum area of 160 square feet

Accessory Structures

- Free standing garages permitted
- Sheds are permitted with a maximum area of 120 square feet and height of 8 feet tall
- In-ground pools permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Larger setback for units on Swedesboro-Paulsboro Road
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- All yards must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Front porches and walks encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Spas are only permitted on or within a rear deck

RR SINGLE-FAMILY DETACHED

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Maximum edge height for front yard – 3 feet
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailbox
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- No parking in front yard

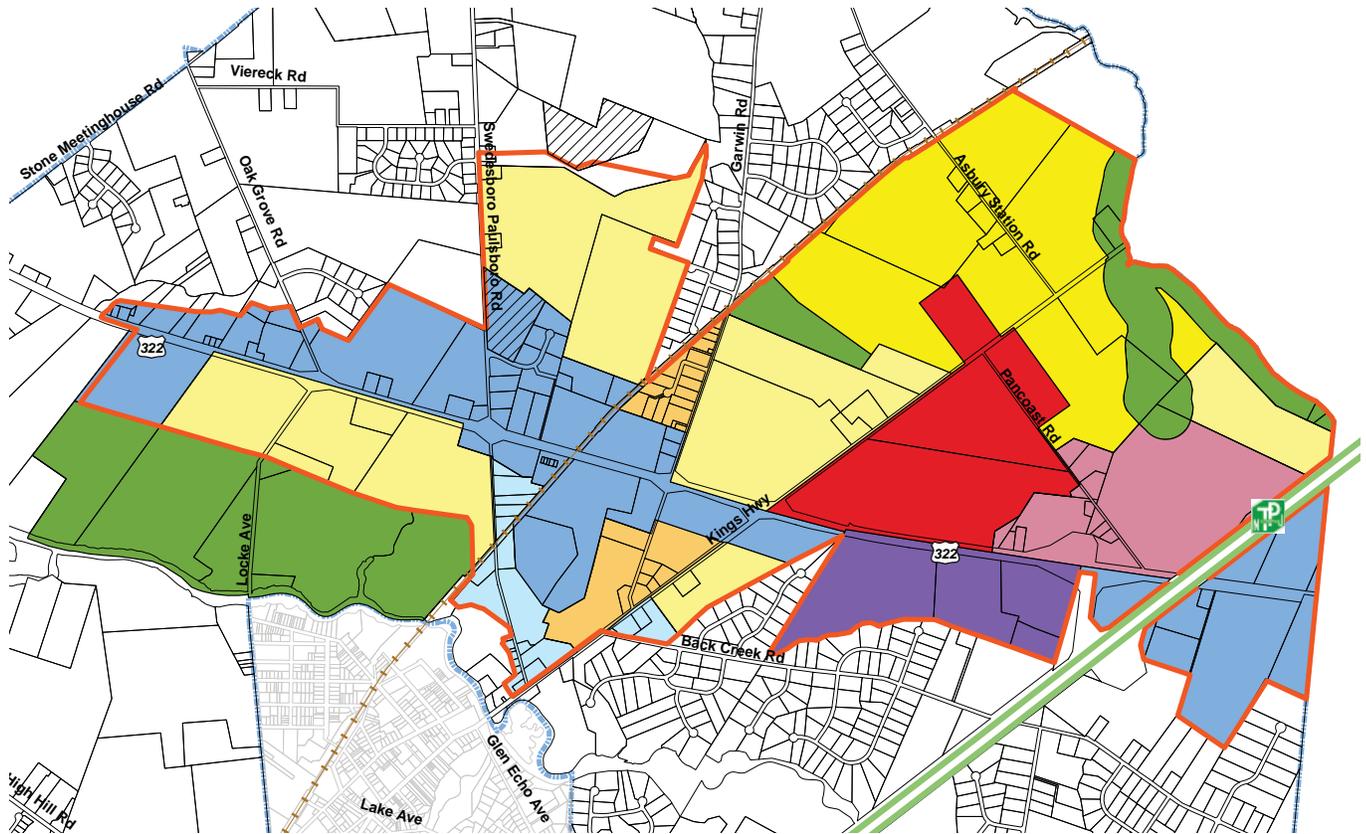
RESIDENTIAL(R-2)



Contents

- Single-Family Detached

ZONING MAP



Legend

- RR: Residential Receiving
- RR-BD: Residential Receiving with Base Density
- MU: Mixed Use
- CC: Corridor Commercial
- BBR: Big Box Retail
- RHO: Regional Hotel/Office
- NC: Neighborhood Commercial
- R-2: Residential
- CON: Conservation/Parks
- NIKE Redevelopment Areas
- Woolwich Regional Center
- Woolwich Municipal Boundary

R-2 SINGLE-FAMILY DETACHED

GOALS

To provide appropriate regulations for the preservation of agriculture, natural resources, scenic vistas and the rural landscape of Woolwich Township, along with the development of single-family detached dwellings and other permitted uses in portions of the Township characterized as rural, regardless of the presence or absence of public sewer or water service.

DEFINITION

A detached single dwelling unit on its own lot designed for or used exclusively by one family.

Please refer to Section 203-41 of the Woolwich Township Zoning Code for use and bulk zoning standards for R-2 zoned properties.

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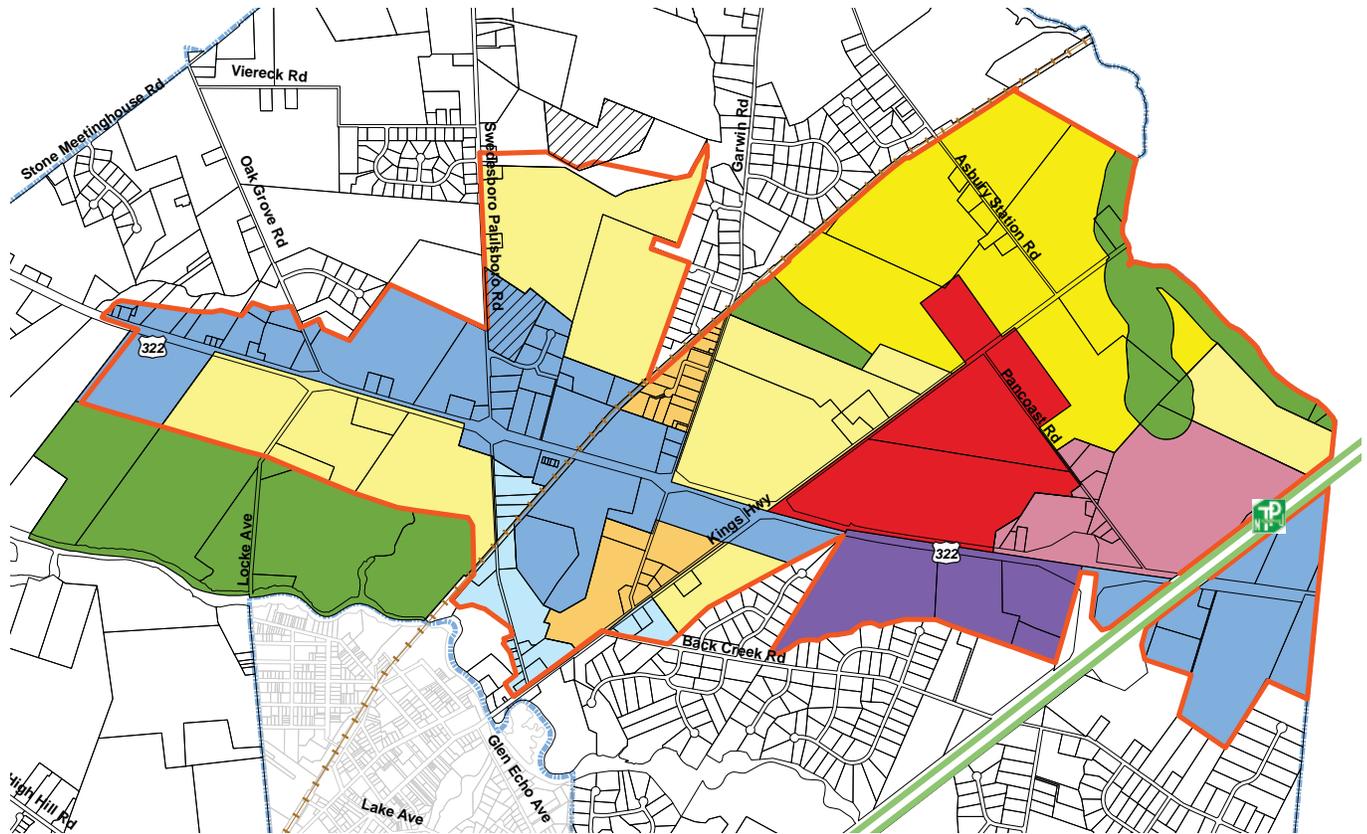
NEIGHBORHOOD COMMERCIAL (NC)



Contents

- Neighborhood Commercial

ZONING MAP



Legend

- RR: Residential Receiving
- RR-BD: Residential Receiving with Base Density
- MU: Mixed Use
- CC: Corridor Commercial
- BBR: Big Box Retail
- RHO: Regional Hotel/Office
- NC: Neighborhood Commercial
- R-2: Residential
- CON: Conservation/Parks
- NIKE Redevelopment Areas
- Woolwich Regional Center
- Woolwich Municipal Boundary

NC - NEIGHBORHOOD COMMERCIAL

GOALS

To provide locations for everyday services, retail, and office necessary to sustain a mixed use local community.

DEFINITION

Small retail, service, and office uses that generally serve those in the immediate community.

PHOTOS

The following examples best embody the purpose, goals and objectives of the corridor commercial service unit:

- Commercial buildings should be clean, simple and inviting
- Signage should be integrated into architecture
- Modern materials are acceptable if they respect well established rules of scale and rhythm



- Restaurants and cafes are encouraged
- Outdoor seating is permitted within property lines



- Small office and retail uses are permitted.
- More than one use is permitted in a single building.
- Driveways directly accessing Swedesboro-Paulsboro Road permitted.

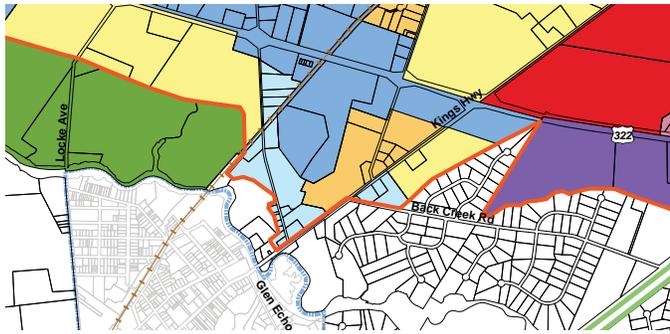


- Businesses servicing local residents, including but not limited to beauty parlors and salons, florists, dry cleaners and tailors, and other personal services are encouraged.
- Front facades should have ample fenestration to provide a rhythm of solid and void and a view of interior activity
- Individual or multi-tenant flex space is a typical need of growing communities



NC - NEIGHBORHOOD COMMERCIAL

town scale



- Zone Acreage - 47 acres
- FAR - 0.3

ARCHITECTURE AND DESIGN

site scale

	<u>min</u>	<u>max</u>	<u>design elements</u>
• Lot Area	20,000 sf	-	<ul style="list-style-type: none"> • Contextual Neighborhood Consistency where possible • Front yard parking permitted only with landscaped buffer between street and parking
• Lot Width	200'	-	
• Corner Lot	200'	-	
• Lot Depth	250'	-	
• Impervious Coverage	-	60%	
• Front Yard Setback	50'	-	
• Side Yard Setback	25'	-	
• Rear Yard Setback	50'	-	

public realm

	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	30'	45'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Eave Height	18'	28'	
• Window-to-Eave Offset	6"	-	
• Front Façade Fenestration	60%	-	
• Side and Rear Façade Fenestration	30%	-	
• Building Face or Roof Offset	5'	-	

private realm

	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be "A" Frame, Flat, Mansard or combinations thereof. • All rooftop equipment shall be screened from view • Building façades shall be parallel to frontage property lines
• Roof Pitch	-	9/12	
• Front and Side Encroachments			
• Bay Window	-	8'	
• Awning	-	8'	
• Solar Screen	-	8'	
• Balcony/Balconette	-	8'	
• Rear Deck	-	8'	
• Terrace	8'	8'	
• Patio	8'	10'	

- Located primarily along a portion of Swedesboro-Paulsboro Road south of US Route 322, with a secondary cluster at the southern end of Kings Highway
- The zone is intended to provide locations for a mixture of local service and office space, such as: restaurants and cafes, salons and beauty parlors, real estate offices, studios for fitness and instruction, dry cleaners, banks, and similar.
- May be single or multi-tenant buildings
- Buildings permitted to be 45 feet tall or 3 stories
- Front yard parking permitted
- Vehicle access Swedesboro-Paulsboro Road

PARKING

EDGES AND BUFFERS

ENVIRONMENT

- Off-street parking provided through driveways
- Porous Pavement
- Belgian Block Curbing
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement
- Parking to be provided at a ratio of 4 spots per 1,000 square feet
- Shared parking permitted

	<u>min</u>	<u>max</u>
• Street Tree Spacing (Distance on Center)	36'	50'
• Side and Rear Yard Fence Height	-	6'
• Planting Buffers		
• Tree Grates		
• Foundation Plantings		
• Planting Buffers between Different Land Uses		
• Parking Planting		
• Screen Ground Mounted Utility Boxes		
• Planters		
• Potted Plants		

- Porous Pavement and Rain Gardens encouraged for parking areas
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate
- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

	<u>min</u>	<u>max</u>
• Patio Setback from Side and Rear Property Lines	5'	-
• Gutters shall be architecturally compatible with a building		

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

NC - NEIGHBORHOOD COMMERCIAL

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary access points directly accessing the street façade.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet or 3 stories.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 60%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear façades, exclusive of loading areas - 30%

Vertical Breaks

- 2 foot building offsets every 100 feet minimum are required

Horizontal Breaks

- Use of material change, horizontal banding, window lines and pediments is required
- Required at a minimum of one (1) per every 24 feet of vertical height

Roof Line

- "A" frame, mansard and flat permitted
- Minimum two (2) foot offset required every 100 feet

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles

- Raised seam metal roof
- Tiles
- Slate

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Solar screens, awnings, arcades shall be used to provide user comfort, energy conservation and design unity
- Architecture should reflect the difference between public vs. private doors and entry's

PUBLIC SPACE NOTES

- Front doors on public street or internal parking court

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Front stoops encouraged as public space transition
- Parking lots to be fully landscaped to breakdown scale, provide user comfort and to modulate micro climate

PRIVATE SPACE NOTES

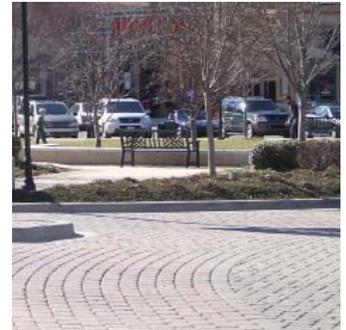
- Outdoor patio space permitted

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Front yard wall, fence, hedge height – maximum 3 ½ feet
- Maximum edge height for side yards – 6 feet (exclusive of trees)

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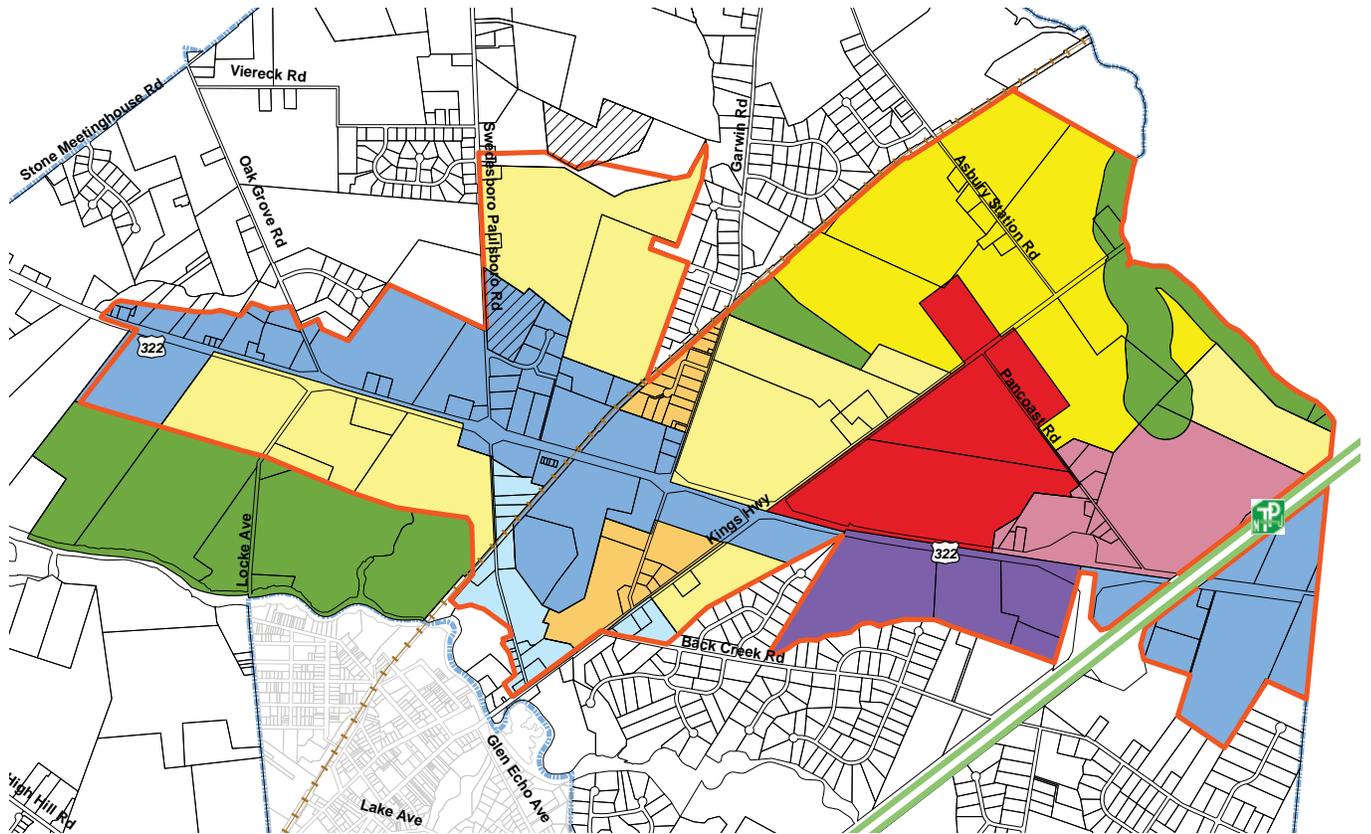
Corridor Commercial (CC)



Contents

- Corridor Commercial Service
- Corridor Commercial Office
- Corridor Commercial Industrial

ZONING MAP



Legend

-  RR: Residential Receiving
-  RR-BD: Residential Receiving with Base Density
-  MU: Mixed Use
-  CC: Corridor Commercial
-  BBR: Big Box Retail
-  RHO: Regional Hotel/Office
-  NC: Neighborhood Commercial
-  R-2: Residential
-  CON: Conservation/Parks
-  NIKE Redevelopment Areas
-  Woolwich Regional Center
-  Woolwich Municipal Boundary

CC SERVICE and OFFICE

GOALS

To provide locations for every day services necessary to sustain a mixed use regional community with general commercial and general office locations that are quasi auto dependent, that are single and multi-use buildings and that may or may not be on individual lots.

DEFINITION

Single or multi-use buildings that address a multitude of convenience needs for a mixed use community

CC SERVICE and OFFICE

PHOTOS

The following examples best embody the purpose, goals and objectives of the corridor commercial service unit:

- Commercial buildings should be clean, simple and inviting
- Signage should be integrated into architecture
- Modern materials are acceptable if they respect well established rules of scale and rhythm
- So far, 21st century communities require automobiles and they must be serviced



- Communities must meet convenience needs that often rely on the automobile
- Small parking courts are permitted in front of establishments
- Signage integrated into architecture



- Generous landscape buffers provide setting for single use commercial establishments
- Driveways directly accessing Route 322 are prohibited. Access shall be provided via a secondary road system
- Pedestrian walkways remain important even in a more auto dependent environment
- 21st century communities continue to rely on the automobile, which require gas

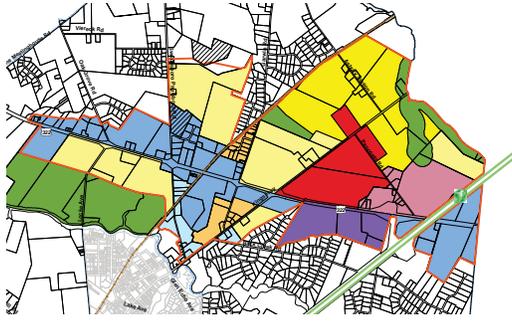


- Modern materials are acceptable provided they respect established rules of rhythm and scale and that they are durable and are not an imitation of another material
- Fenestration can be used effectively to provide a rhythm of solid and void
- Individual or multi-tenant flex space is a typical need of growing communities



CC SERVICE and OFFICE

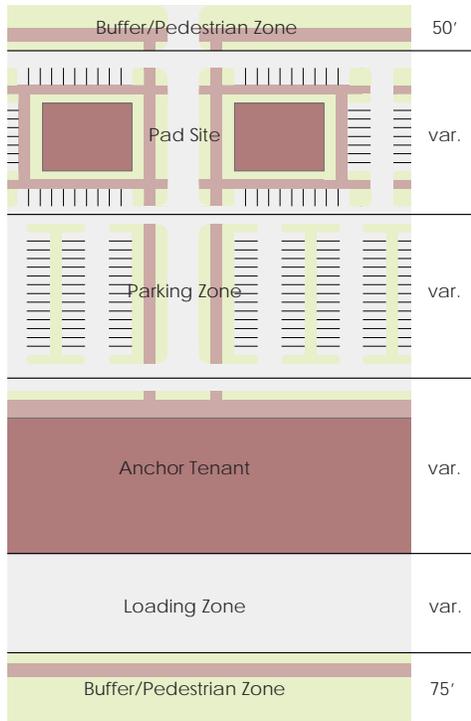
town scale



- Zone Acreage - 425
- FAR - 0.30

ARCHITECTURE AND DESIGN

site scale



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Buffer/Pedestrian Zone			<ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corners • Public and Private Outdoor Spaces Accessible and Visible to the Public • Off-Street Parking located to the Side or Rear • Drive-Thru Windows located to the Side or Rear • Bus Shelters
Front	50'	-	
Rear	75'	-	
• Sidewalk Width	5'	10'	
• Planting Strip Width	4'	10'	
• Decorative Street Lighting (Distance on Center)	50'	75'	
• Lot Area	40000 sf	-	
• Lot Width	200'	-	
Corner Lot	200'	-	
• Lot Depth	250'	-	
• Impervious Coverage	-	60%	
• Front Yard Setback	75'	-	
• Side Yard Setback	25'	-	
• Rear Yard Setback	50'	-	

public realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	30'	45'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Eave Height	18'	28'	
• Window-to-Eave Offset	6"	-	
• Front Façade Fenestration	60%	-	
• Side and Rear Façade Fenestration	30%	-	
• Building Face or Roof Offset	5'	-	

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be "A" Frame, Flat, Mansard or combinations thereof. • All rooftop equipment shall be screened from view • Building façades shall be parallel to frontage property lines
• Roof Pitch	-	9/12	
• Front and Side Encroachments			
Bay Window	-	8'	
Awning	-	8'	
Solar Screen	-	8'	
Balcony/Balconette	-	8'	
Rear Deck	-	8'	
Terrace	8'	8'	
Patio	8'	10'	

CC SERVICE and OFFICE

- Located along Route 322
- The zone is intended to provide locations for a mixture of service retail, office, and industrial space, such as: food stores, pharmacies, convenience retail and small scale office parks and flex space
- May be single or multi-tenant buildings
- Buildings permitted to be 45 feet tall or 3 stories
- Front yard parking permitted
- Vehicle access via secondary streets
- On-street parking on Route 322 is not permitted

PARKING

- Off-street parking provided through driveways
- Porous Pavement
- Belgian Block Curbing
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement
- Retail/Office parking to be provided at a ratio of 4 spots per 1000 square feet
- Shared parking conditionally permitted

EDGES AND BUFFERS

	<u>min.</u>	<u>max.</u>
• Street Tree Spacing (Distance on Center)	36'	50'
• Side and Rear Yard Fence Height	-	6'
• Planting Buffers		
• Maximize uniqueness to street		
• Custom Mailbox		
• Tree Grates		
• Foundation Plantings		
• Planting Buffers between Different Land Uses		
• Parking Planting		
• Screen Ground Mounted Utility Boxes		
• Planters		
• Potted Plants		

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for parking areas
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate
- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Carports

	<u>min.</u>	<u>max.</u>
• Patio Setback from Side and Rear Property Lines	5'	-
• Gutters shall be architecturally compatible with a building		

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

CC SERVICE and OFFICE

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet or 3 stories.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 60%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear façades, exclusive of loading areas - 30%

Vertical Breaks

- 2 foot building offsets every 100 feet minimum are required

Horizontal Breaks

- Use of material change, horizontal banding, window lines and pediments is required
- Required at a minimum of one (1) per every 24 feet of vertical height

Roof Line

- "A" frame, mansard and flat permitted
- Minimum two (2) foot offset required every 100 feet

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Solar screens, awnings, arcades shall be used to provide user comfort, energy conservation and design unity
- Architecture should reflect the difference between public vs. private doors and entries

Accessory Structures

- Carports - permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street or internal parking court

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Front stoops encouraged as public space transition
- Parking lots to be fully landscaped to breakdown scale, provide user comfort and to modulate micro climate

PRIVATE SPACE NOTES

- Storage space required
- Outdoor patio space permitted

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CC INDUSTRIAL

GOALS

To provide locations for light industrial and assembly uses that do not produce negative impacts such as odor, noise, smoke, or vibration, with proximity to US Route 322.

DEFINITION

Buildings that provide for modern industrial uses located near major roadways.

PHOTOS

The following examples best embody the purpose, goals and objectives of industrial development:

- Buffers from environmentally sensitive areas and residential uses/zones



- Deep setbacks from US Route 322 corridor
- Landscaping to surround buildings



- Loading areas to be shielded from view
- Buffers from environmentally sensitive areas and residential uses/zones
- Buffers from environmentally sensitive areas and residential uses/zones

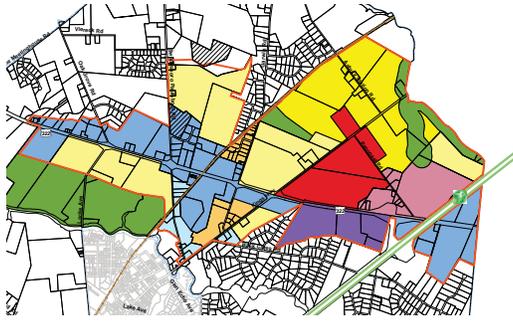


- Uses to have low impact on surrounding uses with regard to noise, odor, vibration, etc.
- Aesthetically attractive architecture and materials



CC INDUSTRIAL

town scale



- Zone Acreage - 425
- FAR - 0.30

ARCHITECTURE AND DESIGN

site scale

	<u>min</u>	<u>max</u>	<u>design elements</u>
• Lot Area	40,000 sf	-	• No loading bays to be visible from US Route 322 or adjacent residential uses or zones
• Lot Width Corner Lot	200'	-	
• Lot Depth	250'	-	• All yard setbacks for industrial uses are required to be a minimum of 100 feet in order to limit impacts.
• Impervious Coverage	-	60%	
• Front Yard Setback	100'	-	
• Side Yard Setback	100'	-	
• Rear Yard Setback	100'	-	

public realm

	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	30'	45'	• Decorative Cornices • First Floor Colonnade • Decorative Patterns on Exterior Finish • Arcades • Terraces
• Buffer to all lot lines	100'	-	

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	45'	• Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco or similar material • Roof type shall be Flat • All rooftop equipment shall be screened from view • Rooftop solar arrays and/or intensive green roof installations are encouraged

CC INDUSTRIAL

- Located along Route 322, though eligible properties must provide a minimum 100 foot setback from the roadway as well as from residential uses and zones.
- The zone is intended to provide locations for light industrial and assembly uses that will not result in negative externalities such as fumes, odor, or vibration
- May be single or multi-tenant buildings
- Buildings permitted to be 45 feet tall or 3 stories
- Front yard parking permitted
- Vehicle access via secondary streets
- On-street parking on Route 322 is not permitted

PARKING

- Off-street parking provided through driveways
- Porous Pavement
- Belgian Block Curbing
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement
- Parking to be provided at a ratio of 1 spot per 3,000 square feet of industrial space, and 1 spot per 1,000 square feet of office space

EDGES AND BUFFERS

	<u>min.</u>	<u>max.</u>
• Street Tree Spacing (Distance on Center)	36'	50'
• Side and Rear Yard Fence Height	-	6'
• Planting Buffers		
• Foundation Plantings		
• Planting Buffers between Different Land Uses		
• Parking Planting		
• Screen Ground Mounted Utility Boxes		
• Planters		

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for parking areas
- Trees to modulate microclimate
- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

CC INDUSTRIAL

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be set back a minimum of 100 feet from the street.
- Buildings shall be oriented to the street, or in cases where not visible from the street they shall be oriented to the parking area. In no case shall buildings be oriented toward an adjacent residential use or zone.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Setback

- Industrial buildings must be set back a minimum of one hundred feet from all property lines, including any frontage on US Route 322.

Building Height

- Maximum building height shall be 45 feet or 3 stories.

Vertical Breaks

- 2 foot building offsets every 500 feet minimum are required

Horizontal Breaks

- Use of material change, horizontal banding, window lines or pediments is required
- Required at a minimum of one (1) per every 24 feet of vertical height

Roof Line

- Flat roof permitted

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Solar screens, awnings, arcades shall be used to provide user comfort, energy conservation and design unity

- Architecture should reflect the difference between public vs. private doors and entries

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Parking lots to be fully landscaped to breakdown scale, provide user comfort and to modulate micro climate

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Front yard wall, fence, hedge height – maximum 3 ½ feet
- Maximum edge height for side yards – 6 feet (exclusive of trees)
- Maximum edge height for rear yards – 6 feet (exclusive of trees)
- Landscaped buffers of at least four feet in width and four feet in height must be provided on all external property edges within the property setback

AMENITY NOTES

- Multi purpose path within buffer where anticipated and/or depicted in Circulation Plan
- Pedestrian system within parking areas defined by textured pavement is required

PARKING AMENITIES/ACCESS NOTES

- Porous pavement in parking areas and drive isles permitted to address stormwater
- Parking in front yard is permitted
- No direct parking lot access from US Route 322 is permitted

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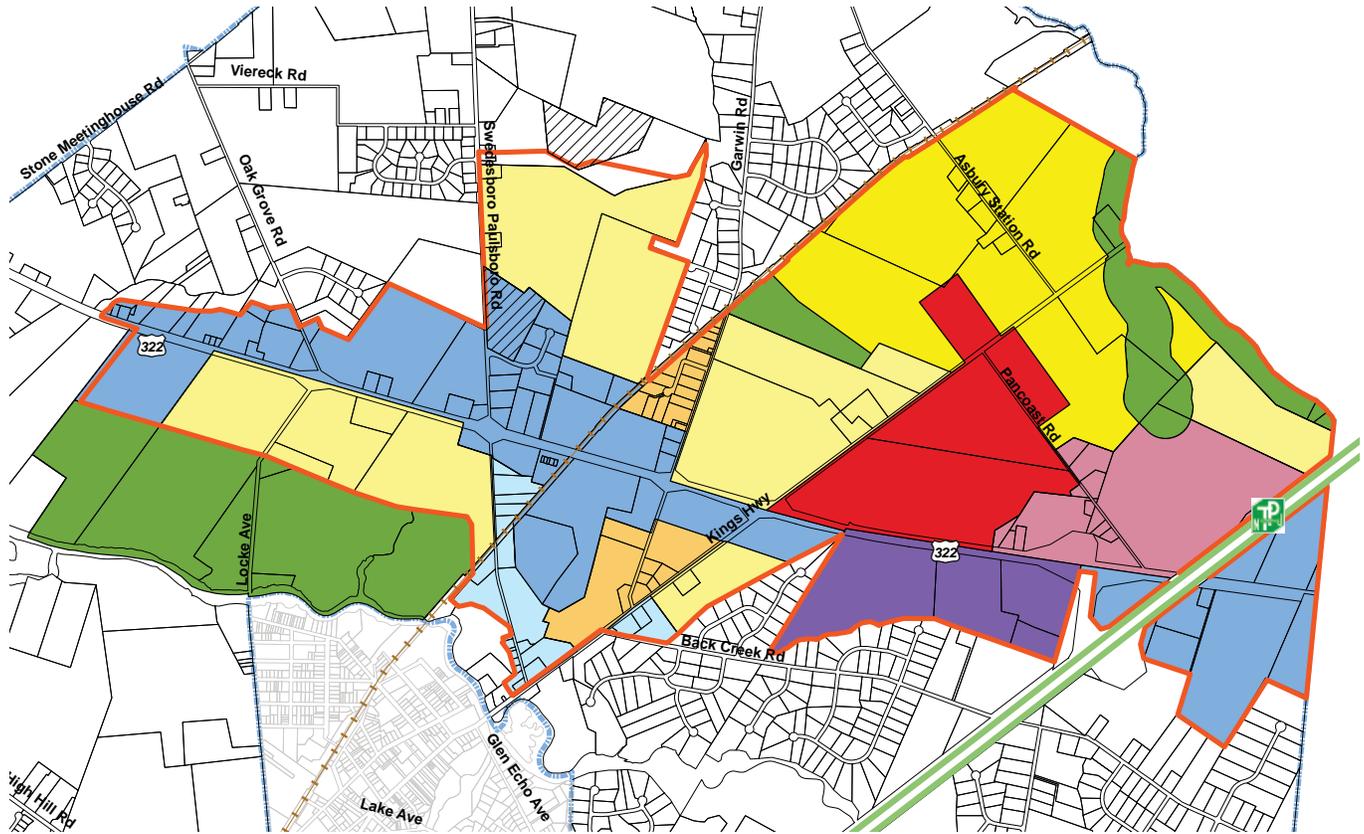
Residential Receiving with Base Density (RR-BD)



Contents

- Residential
 - Townhouse with Alley
 - Twin with Alley
 - Single-Family Detached with Alley
 - Flats

ZONING MAP



Legend

- RR: Residential Receiving
- RR-BD: Residential Receiving with Base Density
- MU: Mixed Use
- CC: Corridor Commercial
- BBR: Big Box Retail
- RHO: Regional Hotel/Office
- NC: Neighborhood Commercial
- R-2: Residential
- CON: Conservation/Parks
- NIKE Redevelopment Areas
- Woolwich Regional Center
- Woolwich Municipal Boundary

RR-BD TOWNHOUSE

GOALS

To provide a mixture of unit sizes to address the needs and desires of seniors who wish to live in densities associated with townhouse living.

DEFINITION

A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement, being located on a separate lot, and being separated from adjoining dwelling unit by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation

RR-BD TOWNHOUSE

PHOTOS

The following examples best embody the purpose, goals and objectives of the townhouse unit:

- Bay windows work to provide street rhythm and to breakdown the horizontal scale
- Small private front yard planting softens street environment
- Windows on side façade enliven corner buildings
- Stoop provides public/private transition
- Front door accentuated in scale
- Durable materials stand up to the test of time



- On a case by case basis townhouses may be arranged in a courtyard configuration with front doors and garages facing a landscaped parking/multi-purpose court
- Modern can coexist with traditional as long as well established roles of rhythm, scale and material choice are respected
- Low garden walls define courtyard edge
- High quality landscaping and surface materials such as pavers required in courtyard



- Slight variations in dormer design reduces monotony in otherwise identical units
- Low front yard garden walls provide appropriate public/private transition
- Large mansard roof element accentuates horizontal break to respect human scale at sidewalk level
- Generous windows on front façade provides internal light while animating street and promoting safety
- Roof gardens and decks provide necessary outdoor private space

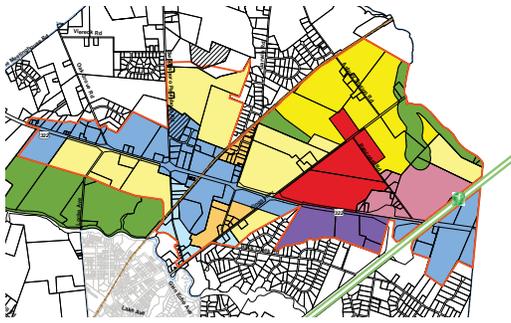


- Vertical and horizontal architectural offsets and material changes reinforce human scale at street level
- Windows turning corner of building acknowledges special location at street intersection
- Solar screens provided reduces unit energy loads and provides horizontal break
- Variations in window dimensions provide interest to the street and address scale and rhythm issues



RR-BD TOWNHOUSE

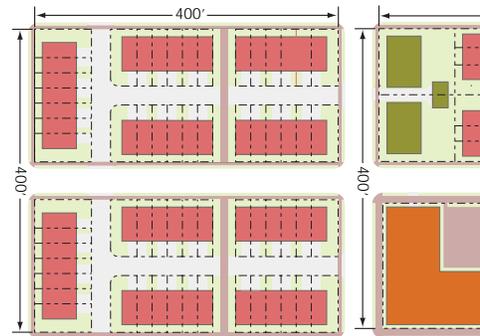
town scale



- RR-BD Acreage - 280 acres
- Maximum base density - 1,033 units of all unit types
- Maximum additional density with TDR - 419 units of all unit types
- Minimum percentage of affordable units - 5%
- Maximum number of townhomes - 241 units

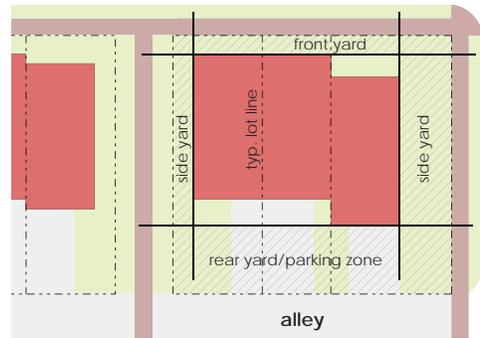
ARCHITECTURE AND DESIGN

block scale



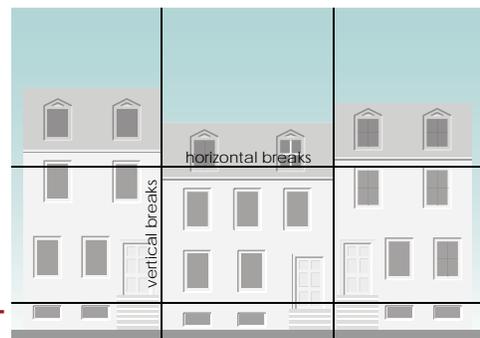
- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|---|------------|------------|--|
| • Block Length | 175' | 500' | <ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corners • Public and Private Outdoor Spaces accessible and visible to the public |
| • Block Perimeter | 1150' | 1800' | |
| • Sidewalk Width | 5' | 10' | |
| • Planting Strip Width | 4' | 10' | |
| • Mid-block Crossings | | | |
| Number per block | 1 | 3 | |
| ROW width | 15' | 20' | |
| Path width | 5' | 10' | |
| • Decorative Street Lighting (Distance on Center) | 50' | 75' | |

site scale



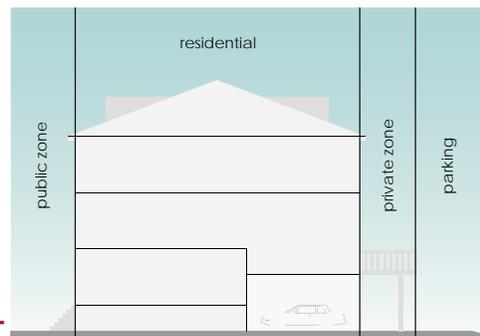
- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|-----------------------|------------|------------|--|
| • Lot Area | 1500 sf | 2625 sf | <ul style="list-style-type: none"> • No more than 8 units built in a row • Provide common mid-block crossing through building to rear alley if 8 units are built |
| • Lot Width | 20' | 30' | |
| Corner Lot | 20' | 35' | |
| • Lot Depth | - | 75' | |
| • Building Coverage | - | 60% | |
| • Impervious Coverage | - | 80% | |
| • Front Yard Setback | 5' | 15' | |
| • Side Yard Setback | 0' | 15' | |
| • Rear Yard Setback | 20' | - | |

public realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|-------------------------------------|------------|------------|--|
| • Building Height | 30' | 45' | <ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Balconies/Balconettes • Decorative Cornices • First Floor Colonnade • Decorative Patterns on Exterior Finish • Usable Open or Covered Stoops • Porticoes |
| • First Floor Elevation | 2' | 5' | |
| • Eave Height | 24' | 36' | |
| • Window-to-Eave Offset | 1' | - | |
| • Front Façade Fenestration | 30% | - | |
| • Side and Rear Façade Fenestration | 20% | - | |
| • Building Face or Roof Offset | 2' | - | |

private realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|--------------------------------|------------|------------|---|
| • First Story Clear Height | 10' | 15' | <ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Stucco or similar material • Synthetic Trim Board • Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be flat, gable, gambrel, mansard, hipped, salt box or combinations thereof • Exterior Chimneys shall be finished in Brick, Stone or Stucco • Chimney tops shall have decorative details • All rooftop equipment shall be screened from view |
| • Roof Pitch | - | 9/12 | |
| • Front and Side Encroachments | | | |
| Stoop | - | 8' | |
| Bay Window | - | 4' | |
| Awning | - | 4' | |
| Solar Screen | - | 4' | |
| Balcony/Balconette | - | 4' | |
| Rear Deck | - | 8' | |

RR-BD TOWNHOUSE

- This zone is found in each of the residential neighborhoods
- Townhouses are encouraged to provide architectural edges to open space
- A variety of unit sizes must be offered
- No front yard parking
- All vehicle access via alleys
- On-street parking

PARKING

- | | <u>min</u> | <u>max</u> |
|---------------------|------------|------------|
| Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| Alley Access Points | 2 | 3 |
| On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through alley-loaded driveways and garages
 - On-Street parking provided through parallel stalls
 - Porous Pavement
 - Belgian Block Curbing

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Street Tree Spacing (Distance on Center) | 36' | 50' |
| Planting Buffers | | |
| Maximize uniqueness to street | | |
| Custom Mailbox | | |

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| Ratio (spots/du) | 2.5 | - |
| Driveway Length | 20' | - |
| Driveway Width | 8' | 12' |
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Front Yard Hedge Height | - | 3' |
| Side and Rear Yard Fence Height | - | 6' |
| Foundation Plantings | | |
| Planting Buffers between Different Land Uses | | |
| Parking Planting | | |
| Screen Ground Mounted Utility Boxes | | |
| Pergolas | | |
| Trellises | | |
| Arbors | | |

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded attached garage with windows and storage space
- Individual garage doors

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| Deck Setback from Side and Rear Property Lines | 10' | - |
| Patio Setback from Side and Rear Property Lines | 5' | - |
| Pool | | |
| Spas | | |
| Gutters | | |
- Pools are not permitted
 - Spas are only permitted on or within a rear deck
 - Gutters shall be architecturally compatible with a building

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|----------------|------------|------------|
| Garage Height | 10' | 15' |
| Garage Width | 14' | 24' |
| Garage Depth | 25' | - |
| Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RR-BD TOWNHOUSE

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- 2 foot building offsets every 60 feet minimum

Horizontal Breaks

- Material changes, horizontal banding, window lines and pediments are required
- A minimum of one (1) break is required

Roof Line

- Flat, gable, gambrel, mansard, hipped and salt box permitted
- A minimum two (2) foot offset is required every 60 feet for multiple units

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Stoops required
- Balconies encouraged
- Decks are required at a minimum area of 160 square feet

Accessory Structures

- None

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Front stoops encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Pools are not permitted
- Spas are only permitted on or within a rear deck

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Walls, fences, hedges in front yards are prohibited
- Maximum edge height for side yards - six (6) feet

RR-BD TOWNHOUSE

- Maximum edge height for rear yards – six (6) feet

AMENITY NOTES

- Custom mailboxes
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- Vehicle access from alley only
- No parking in front yard

RR-BD TWIN WITH ALLEY

GOALS

To provide a mixture of unit sizes to address the needs and desires of seniors who wish to live in densities associated with twin living.

DEFINITION

A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement to one other dwelling unit, each located on a separate lot, and being separated from each other by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation.

RR-BD TWIN WITH ALLEY

PHOTOS

The following examples best embody the purpose, goals and objectives of the twin:

- Front porches provide entry features and a sitting area to converse and interact with passers-by
- Roof offsets combined with porches help to provide appropriate scale and rhythm
- Small front yards provide adequate privacy



- Modern can coexist with traditional as long as well established rules of rhythm, scale and material choice are respected
- Generous window dimensions animate the façade and help provide appropriate vertical and horizontal scale and rhythm
- Two foot vertical offsets conform to rules of vertical offsets
- Garden wall and front garden serve as public/private transition
- Material change provides vertical breaks



- When appropriately scaled, twins can serve as transition units between townhouses and single family detached units
- Twins need not be identical
- First and second floor porches and terraces provide necessary eyes on the street and private outdoor space

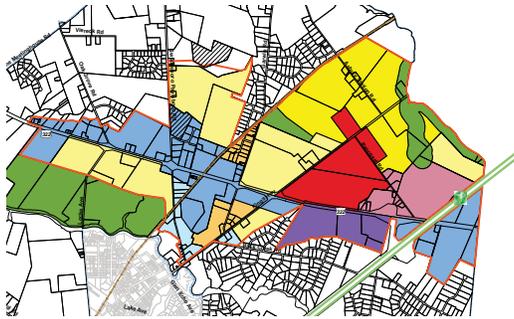


- Simple architecture following basic rules can be attractive
- Wrap around porch can add unique architectural element
- Low front yard fence provides appropriate public/private transition
- Water table element provides horizontal offset



RR-BD TWIN WITH ALLEY

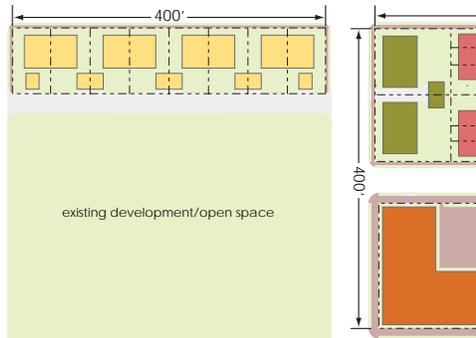
town scale



- RR-BD Acreage - 280 acres
- Maximum base density - 1,033 units of all unit types
- Maximum additional density with TDR - 419 units of all unit types
- Minimum percentage of affordable units - 5%
- Maximum number of twins - 283 units

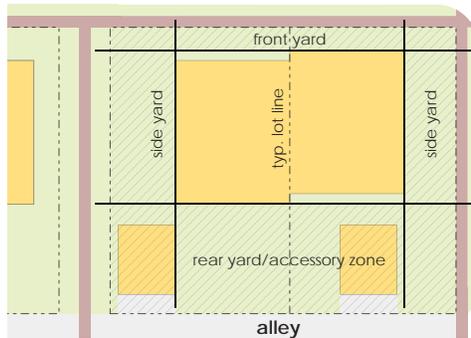
ARCHITECTURE AND DESIGN

block scale



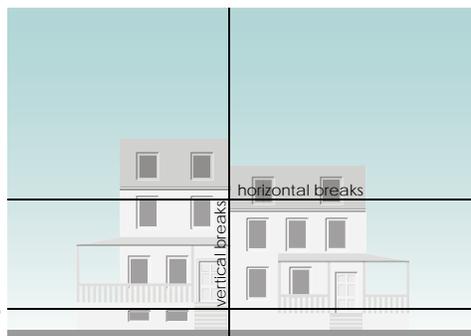
- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|---|------------|------------|--|
| • Block Length | 175' | 500' | • Contextual Neighborhood Consistency |
| • Block Perimeter | 1150' | 1850' | |
| • Sidewalk Width | 5' | 10' | • Special Architectural Features at Corners |
| • Planting Strip Width | 4' | 10' | |
| • Mid-block Crossings | | | • Public and Private Outdoor Spaces accessible and visible to the public |
| Number per block | 1 | 3 | |
| ROW width | 15' | 20' | |
| • Decorative Street Lighting (Distance on Center) | 50' | 75' | |

site scale



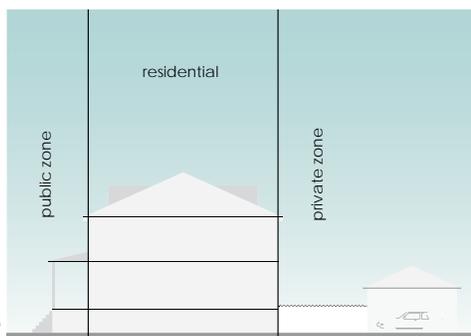
- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|--------------------------------|------------|------------|--|
| • Lot Area | 3000 sf | 6250 sf | • Required break at party wall with adjacent twin |
| • Lot Width | 40' | - | |
| Corner Lot | 40' | - | • Vertical breaks with window treatment encouraged - bays, projections or recesses |
| • Lot Depth | 75' | 125' | |
| • Building Coverage | - | 60% | |
| • Impervious Coverage | - | 80% | |
| • Front Yard Setback | 15' | 30' | |
| • Side Yard Setback | 10' | 15' | |
| • Rear Yard Setback | 20' | - | |
| • Accessory Structure Setbacks | | | |
| Rear and Side Yard | 2' | 5' | |
| Principal Building | 10' | - | |

public realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|-------------------------------------|------------|------------|--|
| • Building Height | 30' | 45' | • Dormers |
| • First Floor Elevation | 2' | 5' | |
| • Eave Height | 24' | 36' | • Gables |
| • Window-to-Eave Offset | 1' | - | |
| • Front Façade Fenestration | 30% | - | • Recessed Entries |
| • Side and Rear Façade Fenestration | 20% | - | |
| • Building Face or Roof Offset | 2' | - | • Cupolas or Towers |
| | | | |
| | | | • Pillars or Posts |
| | | | |
| | | | • Bay Windows |
| | | | |
| | | | • Balconies/Balconettes |
| | | | |
| | | | • Decorative Cornices |
| | | | |
| | | | • First Floor Colonnade |
| | | | |
| | | | • Decorative Patterns on Exterior Finish |
| | | | |
| | | | • Front Porches |
| | | | |
| | | | • Usable Open or Covered Stoops |
| | | | |
| | | | • Porticoes |

private realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|--------------------------------|------------|------------|---|
| • First Story Clear Height | 10' | 15' | • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Wood and Simulated Clapboard or similar material |
| • Roof Pitch | - | 9/12 | |
| • Front and Side Encroachments | | | • Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles or similar material |
| Front Porch | - | 8' | |
| Stoop | - | 8' | • Roof types shall be gable, gambrel, mansard, hipped, salt box or combinations thereof |
| Bay Window | - | 4' | |
| Awning | - | 4' | • Exterior Chimneys shall be finished in Brick, Stone or Stucco |
| Solar Screen | - | 4' | |
| Balcony/Balconette | - | 4' | • Chimney tops shall have decorative details |
| Rear Deck | - | 8' | |
| | | | • All rooftop equipment shall be screened from view |

RR-BD TWIN WITH ALLEY

- Twins found in less dense areas of neighborhoods acting as a transition between flats/townhouses and single-family detached units
- A variety of unit sizes must be offered
- No front yard parking
- Vehicle access via alley
- On-street parking

PARKING

- | | <u>min</u> | <u>max</u> |
|---------------------|------------|------------|
| Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| Alley Access Points | 2 | 3 |
| On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through alley-loaded driveways and garages
 - On-Street parking provided through parallel stalls
 - Porous Pavement
 - Belgian Block Curbing

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Street Tree Spacing (Distance on Center) | 36' | 50' |
| Planting Buffers | | |
| • Maximize uniqueness to street | | |
| • Custom Mailbox | | |
- Front Yard Fence Height - 3'
 - Front Yard Hedge Height - 3'
 - Side and Rear Yard Fence Height - 6'
 - Foundation Plantings
 - Planting Buffers between Different Land Uses
 - Parking Planting
 - Screen Ground Mounted Utility Boxes
 - Pergolas
 - Trellises
 - Arbors

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| Ratio (spots/du) | 1.5 | 2.5 |
| Driveway Length | 20' | - |
| Driveway Width | 8' | 12' |
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

- | | <u>min</u> | <u>max</u> |
|---------------------------------|------------|------------|
| Front Yard Fence Height | - | 3' |
| Front Yard Hedge Height | - | 3' |
| Side and Rear Yard Fence Height | - | 6' |
- Foundation Plantings
 - Planting Buffers between Different Land Uses
 - Parking Planting
 - Screen Ground Mounted Utility Boxes
 - Pergolas
 - Trellises
 - Arbors

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded garage with windows and storage space
- Individual garage doors

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| Pool and Deck Setback from Side and Rear Property Lines | 10' | - |
| Patio Setback from Side and Rear Property Lines | 5' | - |
- In-ground Pools are permitted
 - Spas are only permitted on or within a rear deck
 - Gutters shall be architecturally compatible with a building

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|----------------|------------|------------|
| Garage Height | 10' | 15' |
| Garage Width | 14' | 24' |
| Garage Depth | 25' | - |
| Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RR-BD TWIN WITH ALLEY

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- Required offset at party wall with adjacent twin - 2 foot minimum
- Vertical breaks with window treatment, such as bays, projections and recesses are encouraged

Horizontal Breaks

- Material changes, horizontal banding, window lines and pediments are required
- Required number of breaks – one minimum

Roof Line

- Flat, gable, gambrel, mansard, hipped and salt box permitted
- Required break at party wall with adjacent twin – minimum two (2) foot offset

Building Materials

- Wood and simulated clapboard
- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Front porches are required with a minimum dimension of 8' x 10'
- Bay windows encouraged
- Rear decks are required at a minimum area of 160 square feet

Accessory Structures

- Free standing garages permitted
- Sheds are permitted at a maximum area of 120 square feet and height of 8 feet
- In-ground pools permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- All yards must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Semi- public space must be separated from public space by either a low garden wall, decorative fence, hedge or combination of the three. Fences in front yards shall have a maximum height of 3 feet. Fences in side and rear yards shall have a maximum height of 6 feet high
- Bio swales and rain gardens permitted
- Usable open or covered stoops encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Spas are only permitted on or within a rear deck

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Maximum edge height for front yard – 3 feet
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailbox
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- Vehicle access from alley or secondary street only
- No parking in front yard

RR-BD SINGLE-FAMILY DETACHED WITH ALLEY

GOALS

To provide a mixture of unit sizes to address the needs and desires of seniors who wish to live in a walkable community with densities associated with single family detached units on small individual lots.

DEFINITION

A detached single dwelling unit on its own lot designed for or used exclusively by one family.

RR-BD SINGLE-FAMILY DETACHED WITH ALLEY

PHOTOS

The following examples best embody the purpose, goals and objectives of the single-family detached unit:

- Bays, vertical elements, window dimensions and window locations work together to break down the scale of an otherwise large house
- Special consideration to front door design
- Sensitive use of varied materials reduces monotony and helps provide a human scale



- Porches and terraces provide necessary eyes on the street and private outdoor space-appropriate public/private transition
- Durable materials stand the test of time
- Single family still functions very well with small front yard setbacks



- Where outlined in the zoning plan driveway access from streets is permitted
- Parking and garage locations limited to backyards only
- Porous pavement provides stormwater benefit

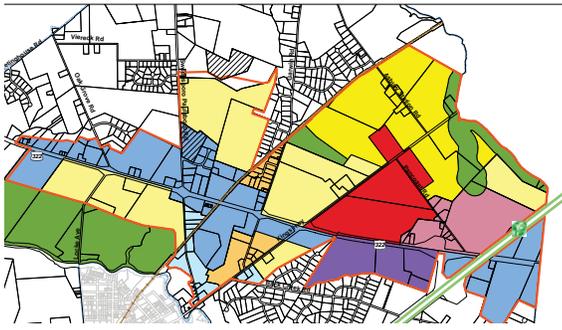


- Variety of architecture along street frontage provides personal identity and makes the journey for pedestrians more enjoyable
- Small gable ends facing the street help to reduce the scale of the house mass
- Horizontal banding helps reduce the perception of the vertical massing of the house



RR-BD SINGLE-FAMILY DETACHED WITH ALLEY

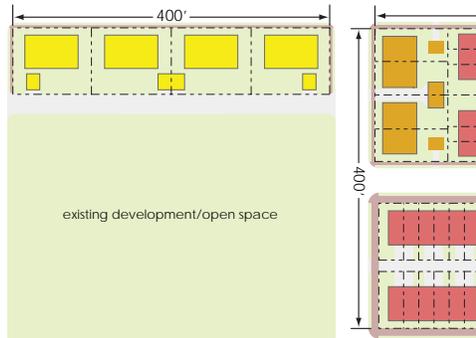
town scale



- RR-BD Acreage - 280 acres
- Maximum base density - 1,033 units of all unit types
- Maximum additional density with TDR - 419 units of all unit types
- Minimum percentage of affordable units - 5%
- Maximum number of single family detached homes - 418 units

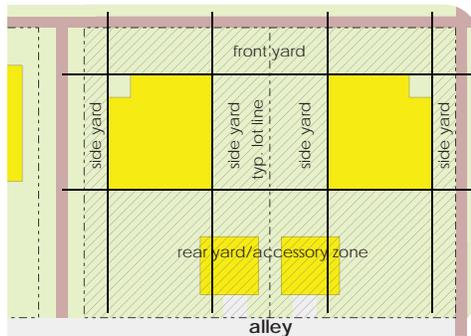
ARCHITECTURE AND DESIGN

block scale



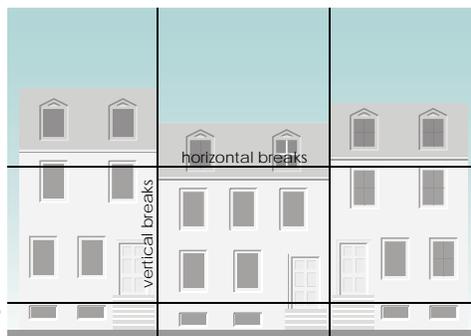
- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|---|------------|------------|--|
| • Block Length | 175' | 500' | • Contextual Neighborhood Consistency |
| • Block Perimeter | 1150' | 1800' | |
| • Sidewalk Width | 5' | 10' | • Special Architectural Features at Corners |
| • Planting Strip Width | 4' | 10' | |
| • Mid-block Crossings | | | • Public and Private Outdoor Spaces accessible and visible to the public |
| Number per block | 1 | 3 | |
| ROW width | 15' | 20' | |
| Path width | 5' | 10' | |
| • Decorative Street Lighting (Distance on Center) | 50' | 75' | |

site scale



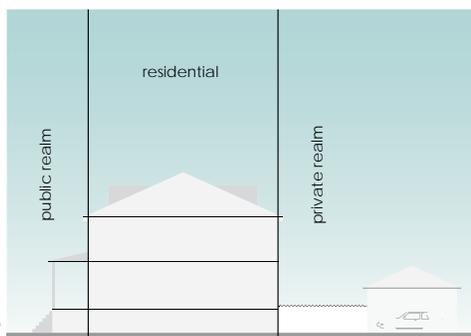
- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|---------------------------------------|------------|------------|---|
| • Lot Area | 5000 sf | 10000 sf | • Vertical breaks encouraged |
| • Lot Width | 50' | 105' | |
| Corner Lot | 50' | 105' | • Material Change, Window Lines and Pediments required as Horizontal Breaks |
| • Lot Depth | 90' | 115' | |
| • Building Coverage | - | 50% | |
| • Impervious Coverage | - | 60% | |
| • Front Yard Setback | 15' | 15' | |
| • Side Yard Setback | 5' | 15' | |
| • Rear Yard Setback | 20' | - | |
| • Accessory Structure Setbacks | | | |
| Rear and Side Yard Principal Building | 2' | 5' | |
| Principal Building | 10' | - | |

public realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|-------------------------------------|------------|------------|--|
| • Building Height | 30' | 45' | • Dormers |
| • First Floor Elevation | 3' | 8' | |
| • Eave Height | 18' | 28' | • Gables |
| • Window-to-Eave Offset | 6" | - | |
| • Front Façade Fenestration | 30% | - | • Recessed Entries |
| • Side and Rear Façade Fenestration | 20% | - | |
| • Building Face or Roof Offset | 16" | - | • Cupolas or Towers |
| • Window Trim Offset | 4" | - | |
| | | | • Pillars or Posts |
| | | | |
| | | | • Bay Windows |
| | | | |
| | | | • Balconies |
| | | | |
| | | | • Decorative Cornices |
| | | | |
| | | | • First Floor Colonnade |
| | | | |
| | | | • Decorative Patterns on Exterior Finish |
| | | | |
| | | | • Front Porches |
| | | | |
| | | | • Porticoes |

private realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|--------------------------------|------------|------------|--|
| • First Story Clear Height | 10' | 15' | • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Wood and Simulated Clapboard or similar material |
| • Roof Pitch | - | 9/12 | |
| • Front and Side Encroachments | | | • Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material |
| Front Porch | - | 8' | |
| Bay Window | - | 4' | • Roof types shall be gable, gambrel, mansard, hipped, salt box or combinations thereof |
| Awning | - | 4' | |
| Solar Screen | - | 4' | • Exterior Chimneys shall be finished in Brick, Stone or Stucco |
| Balcony/Balconette | - | 4' | |
| Rear Deck | - | 8' | • Chimney tops shall have decorative details |
| | | | |
| | | | • All rooftop equipment shall be screened from view |

RR-BD SINGLE-FAMILY DETACHED WITH ALLEY

- Single-family dwellings are the lowest density typology
- Found as transition between the northern portion of the regional center and the adjacent residential environs
- A variety of unit sizes must be offered
- On-street parking
- Vehicle access via alley

PARKING

- | | <u>min</u> | <u>max</u> |
|---------------------|------------|------------|
| Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| Alley Access Points | 2 | 3 |
| On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through alley-loaded driveways and garages
 - On-Street parking provided through parallel stalls
 - Porous Pavement
 - Belgian Block Curbing

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Street Tree Spacing (Distance on Center) | 36' | 50' |
| Planting Buffers | | |
| Maximize uniqueness to street | | |
| Custom Mailbox | | |
| Front Yard Fence Height | - | 3' |
| Front Yard Hedge Height | - | 3' |
| Side and Rear Yard Fence Height | - | 6' |
| Foundation Plantings | | |
| Planting Buffers between Different Land Uses | | |
| Parking Planting | | |
| Screen Ground Mounted Utility Boxes | | |
| Pergolas | | |
| Trellises | | |
| Arbors | | |

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| Ratio (spots/du) | 1.5 | 2.5 |
| Driveway Length | 20' | - |
| Driveway Width | 8' | 12' |
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

- | | <u>min</u> | <u>max</u> |
|---------------------------------|------------|------------|
| Front Yard Fence Height | - | 3' |
| Front Yard Hedge Height | - | 3' |
| Side and Rear Yard Fence Height | - | 6' |

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded garage with windows and storage space
- Individual garage doors

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| Pool and Deck Setback from Side and Rear Property Lines | 10' | - |
| Patio Setback from Side and Rear Property Lines | 5' | - |
- In-ground Pools are permitted
 - Spas are only permitted on or within a rear deck
 - Gutters shall be architecturally compatible with a building

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|----------------|------------|------------|
| Garage Height | 10' | 15' |
| Garage Width | 14' | 24' |
| Garage Depth | 25' | - |
| Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RR-BD SINGLE-FAMILY DETACHED WITH ALLEY

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid

Building Height

- Maximum building height shall be 35 feet or 2 ½ stories

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- Required

Horizontal Breaks

- Use of material change, window lines and pediments required

Roof Line

- Gable, gambrel, mansard, hipped and salt box permitted
- Maximum length of roofline - 40 feet

Building Materials

- Wood and simulated clapboard
- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Front porches are required with minimum dimensions of 8'x10'
- Rear decks are required at a minimum are of 160 square feet

Accessory Structures

- Free standing garages permitted
- Sheds permitted are permitted at a maximum are of 120 square feet and height of 8 feet
- In-ground pools permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Larger setback for units on Swedesboro-Paulsboro Road
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- All yards must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Front porches and walks encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Spas are only permitted on or within a rear deck

RR-BD SINGLE-FAMILY DETACHED WITH ALLEY

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Maximum edge height for front yard – 3 feet
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailbox
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- No parking in front yard

RR-BD FLATS

GOALS

To provide a mixture of unit sizes to address the needs and desires of seniors who wish to live in a walkable community with densities associated with single family detached units on small individual lots.

DEFINITION

A building or portion thereof designed for occupancy by three or more families living independently in which they share common entrances and other spaces and individual units may be owned as condominiums or offered for rent.

PHOTOS

The following examples best embody the purpose, goals and objectives of the flat unit:

- Prominent architectural features at key corners provide visual reference points in the town fabric
- Terraces and balconies provide necessary outdoor space and an opportunity to modulate the scale of the architecture with vertical and horizontal breaks
- Small private green spaces provides public/private transition
- Cornice line serves as horizontal break
- First floor height differentiated from upper floor heights



- Large windows serve to provide scale to the building as well as interior light for units
- Bay windows provide design interest to street facade
- Balconies provide outdoor space for individual units while providing solar screen for lower level windows



- Flats reflect smaller family lifestyle choices
- Large areas of units are devoted to entertaining space
- Floor plans often emphasize the dramatic that takes advantage of town views
- Typical loft units

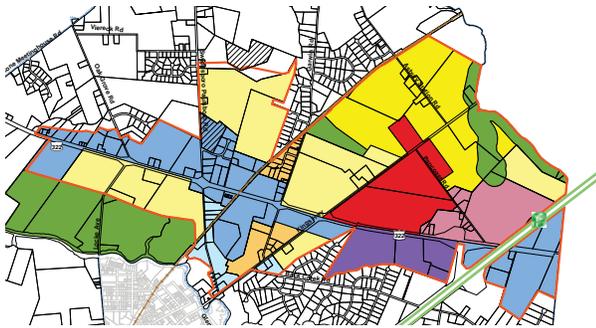


- Modern can coexist with traditional as long as well established rules of scale, rhythm and materials choice are respected
- Use of large windows and glass elements provides interest to street elevation
- Varying roof heights reduces the monotony of large buildings



RR-BD FLATS

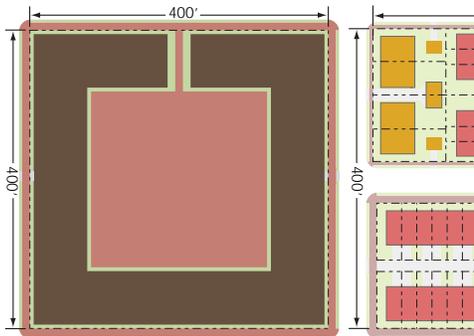
town scale



- RR-BD Acreage - 280 acres
- Maximum base density - 1,033 units of all unit types on parcels with a frontage along Kings Highway and/or the Railroad tracks.
- Maximum additional density with TDR - 419 units of all unit types
- Minimum percentage of affordable units - 5%

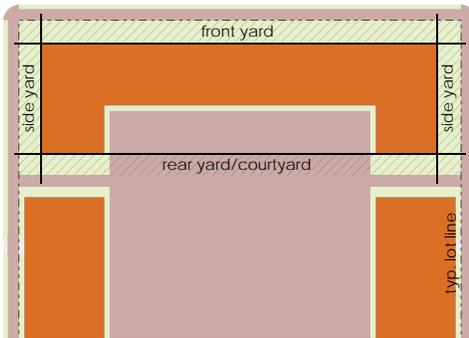
ARCHITECTURE AND DESIGN

block scale



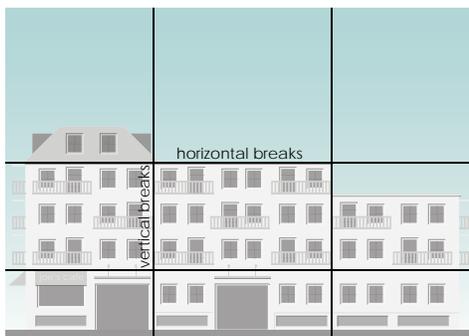
	<u>min</u>	<u>max</u>	<u>design elements</u>
• Block Length	300'	500'	<ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corners • Public and Private Outdoor Spaces accessible and visible to the public • Plazas • Mid-block pedestrian connections to respond to street grid • Bus shelters
• Block Perimeter	1400'	1800'	
• Sidewalk Width	5'	10'	
• Planting Strip Width	4'	10'	
• Mid-block Crossings			
Number per block	-	3	
ROW width	20'	-	
Path width	10'	-	
• Decorative Street Lighting (Distance on Center)	50'	75'	

site scale



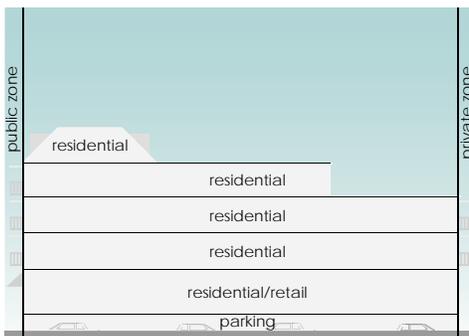
	<u>min</u>	<u>max</u>	<u>design elements</u>
• Lot Area	20000 sf	-	<ul style="list-style-type: none"> • Bike Racks • Water Features/Fountains • Decorative Pedestrian Lighting • Litter Containers • Architectural Lighting • Benches • Clock Towers • Kiosks • Public Art
• Lot Width	100'	-	
Corner Lot	100'	-	
• Lot Depth	150'	-	
• Impervious Coverage	-	85%	
• Front Yard Setback	10'	30'	
• Side Yard Setback	-	10'	
• Rear Yard Setback	20'	-	
• Building Separation	20'	-	

public realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	45'	60'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Balconies/Balconette • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Eave Height	24'	36'	
• Window-to-Eave Offset	2'	-	
• Upper Front Façade Fenestration	30%	-	
• Lower Front Façade Fenestration	60%	-	
• Side and Rear Façade Fenestration	25%	-	
• Building Face or Roof Offset	5'	-	

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be Flat, Mansard or combination thereof • All rooftop equipment shall be screened from view
• Roof Pitch	-	9/12	
• Front and Side Yard Encroachments			
Terraces	8'	-	
Patios	8'	10'	
Bay Window	-	8'	
Awning	-	8'	
Solar Screen	-	8'	
Balcony/Balconette	2'	8'	

RR-BD FLATS

- Buildings permitted to be a maximum of 60 feet tall or 5 stories for building longer than 150 feet.
- No front yard parking.
- All vehicle access via alleys or secondary streets.
- On-street parking where permitted in circulation plan.

PARKING

- | | <u>min</u> | <u>max</u> |
|---------------------|------------|------------|
| Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| Alley Access Points | 2 | 3 |
| On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through alley-loaded driveways and garages
 - On-Street parking provided through parallel stalls
 - Porous Pavement
 - Belgian Block Curbing

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Street Tree Spacing (Distance on Center) | 36' | 50' |
| Planting Buffers | | |
| Maximize uniqueness to street | | |
| Custom Mailbox | | |
| Tree Grates | | |

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| Ratio (spots/du) | 0.8 | 1.3 |
| Driveway Length | 20' | - |
| Driveway Width | 8' | 12' |
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Side and Rear Yard Fence Height | - | 6' |
| Foundation Plantings | | |
| Planting Buffers between Different Land Uses | | |
| Parking Planting | | |
| Screen Ground Mounted Utility Boxes | | |
| Planters | | |
| Potted Plants | | |

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded garage with windows and storage space
- Individual garage doors
- Carports
- Structured Parking

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| Patio Setback from Side and Rear Property Lines | 5' | - |
| Pools and spas are not permitted | | |
| Gutters shall be architecturally compatible with a building | | |

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|----------------|------------|------------|
| Garage Height | 10' | 15' |
| Garage Width | 14' | 24' |
| Garage Depth | 25' | - |
| Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Structured parking shall have a maximum height of 2 levels.

RR-BD FLATS

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 60 feet. For buildings with facades exceeding 100 feet a maximum average building height of 55 feet shall be permitted measured along the affected façade.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on upper front façade – 30%
- Minimum area of window opening on front retail – 60%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of window opening on side and rear facades – 25%

Vertical Breaks

- Required every 30 feet minimum through use of offsets, fenestration, bay windows, balconies, balconettes or material change requires minimum one foot offset

Horizontal Breaks

- Required at a minimum of one (1) per every 24 feet of vertical height
- May use banding, setbacks or material change

Roof Line

- Flat and mansard permitted
- Maximum length of roofline – 60 feet
- Minimum offset – 5 feet

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Prominent front entry feature required
- Balconies, balconettes, terrace and/or patio are required at one per unit
- Bay windows encouraged

Accessory Structures

- Structured parking is permitted
- Free standing garage is permitted
- Carports are permitted

PUBLIC SPACE NOTES

- Front of buildings setback from public sidewalks
- Entry plazas and courts should be designed to welcome public use
- Front doors or doors to common lobbies should be grand in scale and largely transparent to public space through the use of glass walls and doors
- Canopies, awnings and overhangs are encouraged on the first floor with emphasis on the front doors
- Screening of loading, service and trash storage areas are required

SEMI PUBLIC SPACE NOTES

- All semi-public space (i.e. yards, courts, plazas) must be fully appointed with landscaping of trees, shrubs, ornamental grasses and ground-cover or a combination of decorative paving and landscaping. Where appropriate seating and lighting shall be provided.
- Semi- public space must be separated from public space by either a low garden wall, decorative fence (maximum 6' high), hedge material or a combination of the three.

PRIVATE SPACE NOTES

- Residential storage space is required
- Residential outdoor patio space is required

EDGES, BUFFERS & TRANSITIONS NOTES

- Parking lots adjacent to street edges must be screened with 4 ½ foot high hedge or masonry wall.
- Parking adjacent to residential use must be screened with minimum 6 foot high masonry wall or fence and must include a minimum 3 foot wide vegetated buffer that is a minimum of 6' high at time of planting.
- Lighting must be screened from residential uses.

AMENITY NOTES

- Must provide at least one direct pedestrian connection to perimeter public streets per 150 foot of frontage.
- Connection must be a minimum of 10 foot wide path with 5 foot wide landscaped edges.
- Must provide textured pedestrian crosswalks internal to parking lots.

PARKING AMENITIES/ACCESS NOTES

- Porous pavement and bio swales permitted
- Vehicle access from alley or secondary streets only
- Maximum one vehicle access point per secondary street frontage

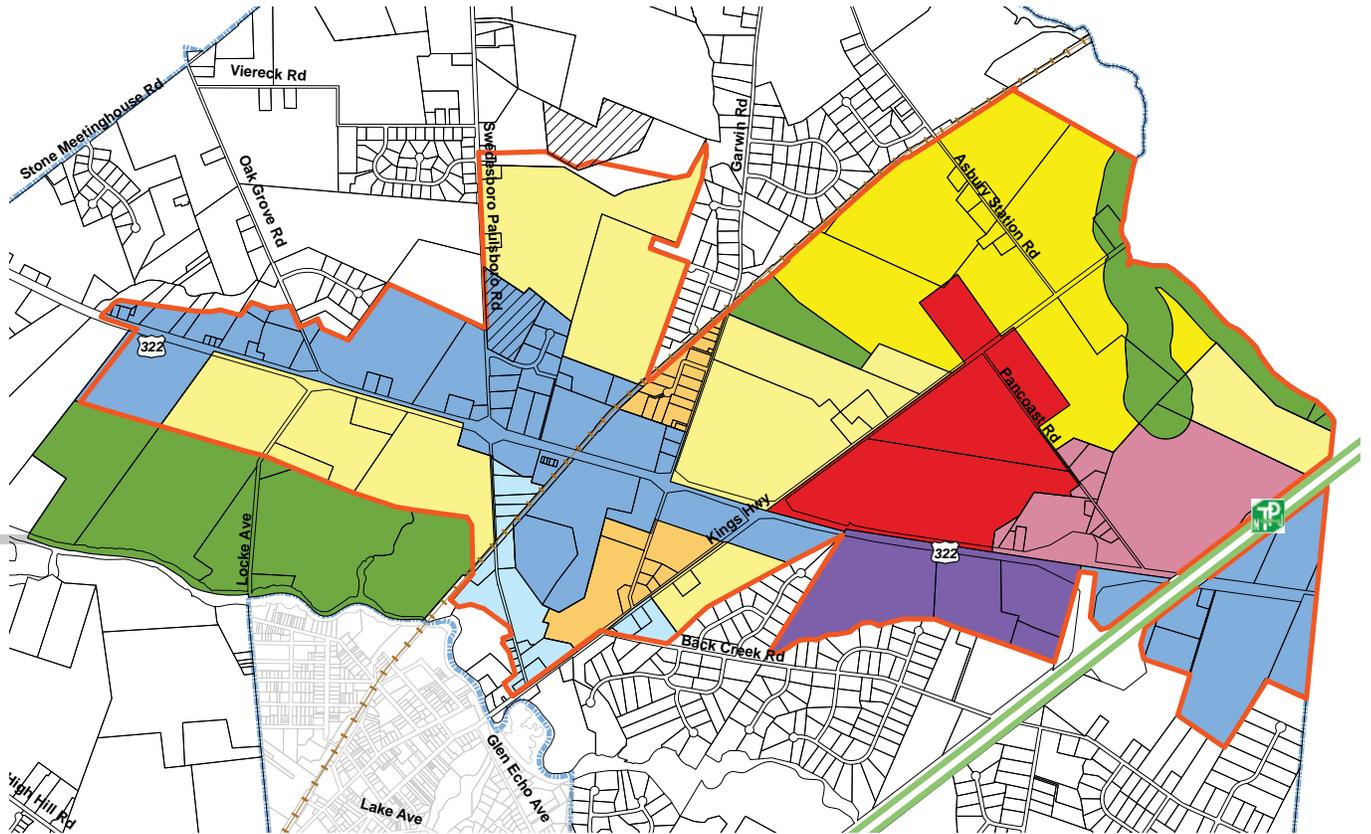
Mixed Use (MU)



Contents

- Mixed Use

ZONING MAP



Legend

-  RR: Residential Receiving
-  RR-BD: Residential Receiving with Base Density
-  MU: Mixed Use
-  CC: Corridor Commercial
-  BBR: Big Box Retail
-  RHO: Regional Hotel/Office
-  NC: Neighborhood Commercial
-  R-2: Residential
-  CON: Conservation/Parks
-  NIKE Redevelopment Areas
-  Woolwich Regional Center
-  Woolwich Municipal Boundary

MU

GOALS

To provide ground floor commercial retail and office with the opportunity for office and residential units above in order to develop the area as a lively commercial district with a 24 hour presence.

DEFINITION

A building that contains a combination of use types within a single structure in a compact urban setting that may or may not share infrastructure such as parking.

PHOTOS

The following examples best embody the purpose, goals and objectives of the mixed use unit:

- Lively first floor retail level is distinguished by large storefront windows, unique materials and 16 foot floor plate
- Balconettes distinguish the upper floors as residential
- Lively sidewalk cafes



- Large building offsets help to create opportunities for public and semi-public court yards
- Solar screens provide shade to roof gardens and roof decks
- Large windows reflect inter-loft floor plans



- Vertical elements reinforce human scale of the street
- Arcades provide street level shade and shelter
- Solar screens on upper floors shade windows
- Balconettes provide location for seasonal flower plantings in pots

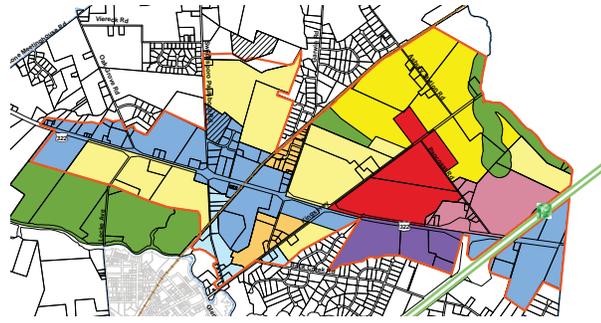


- Perception of large buildings can be mitigated by the skillful use of materials, color and offsets
- Shop fronts are individualized on a 25 foot to 35 foot module to reinforce human scale of the street
- Varying the rhythm of façade widths and heights both provides interest at the street level and promotes walking by reducing monotony
- Large horizontal bands provide entablature for store front signage



MU

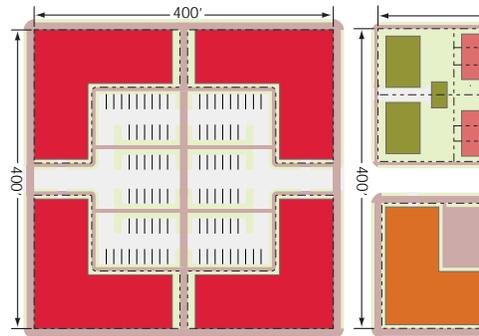
town scale



- Zone Acreage - 158.97 acres
- Maximum Commercial Area - 560,000 s.f.
- Base density - 500 residential units in the "triangle" between Kings Highway, Pancoast Road, and US Route 322. Additional units possible with TDR.
- 5% of all residential units to be affordable housing.
- Ground floor commercial retail or office use required north of US Route 322 between Kings Highway and ancoast Road. Ground floor commercial retail or office optional north of Pancoast Road and West of Kings Highway.

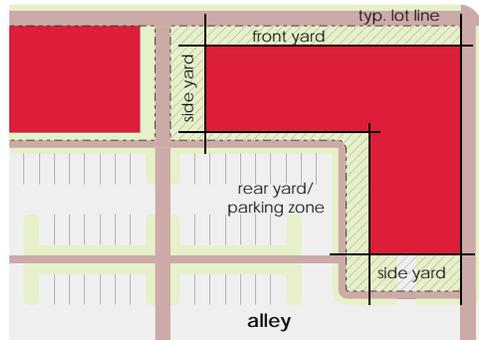
ARCHITECTURE AND DESIGN

block scale



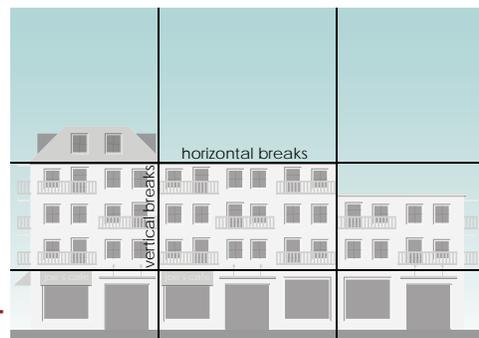
	<u>min</u>	<u>max</u>	<u>design elements</u>
• Block Length	300'	500'	<ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corners • Public and Private Outdoor Spaces Accessible and Visible to the public. • Plazas • Mid-block pedestrian connections to respond to street grid. • Bus Shelters
• Block Perimeter	1400'	1800'	
• Sidewalk Width	5'	10'	
• Planting Strip Width	4'	10'	
• Mid-block Crossings			
Number per block	-	3	
ROW width	20'	-	
Path width	10'	-	
• Decorative Street Lighting (Distance on Center)	50'	75'	

site scale



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Lot Area	20000 sf	-	<ul style="list-style-type: none"> • Bike Racks • Water Features/Fountains • Decorative Pedestrian Lighting • Litter Containers • Architectural Lighting • Benches • Clock Towers • Kiosks • Public Art
• Lot Width	100'	-	
Corner Lot	100'	-	
• Lot Depth	150'	-	
• Impervious Coverage	-	90%	
• Front Yard Setback	10'	30'	
• Side Yard Setback	-	10'	
• Rear Yard Setback	20'	-	
• Building Separation	20'	-	

public realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	45'	60'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Balconies/Balconettes • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Eave Height	24'	36'	
• Window-to-Eave Offset	6"	-	
• Upper Front Façade Fenestration	30%	-	
• Lower Front Façade Fenestration	70%	-	
• Side and Rear Façade Fenestration	25%	-	
• Building Face or Roof Offset	5'	-	

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	15'	20'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be Flat, Mansard or combinations thereof. • All rooftop equipment shall be screened from view
• Roof Pitch	-	9/12	
• Yard Encroachments			
Terrace	8'	-	
Patio	8'	10'	
Bay Window	-	8'	
Awning	-	8'	
Solar Screen	-	8'	
Balcony/Balconette	-	8'	
Rear Deck	-	8'	
Stoop	-	8'	

- Retail to be of a small boutique scale.
- Commercial space permitted by right on the ground floor with sidewalk cafes, eateries and small shops are encouraged.
- Buildings permitted to be a maximum of 60 feet tall or 5 stories with a maximum average building height in the zone to be 55 feet or 4 ½ stories.
- Building fronts to be built to public sidewalk edge.
- No front yard parking.
- All service and primary parking fields to be alley load-

- ed and located in rear yard.
- Retail to be of a small boutique scale.
- Ground floor sidewalk cafes, eateries and small shops are encouraged.
- Buildings permitted to be a maximum of 60 feet tall or 5 stories with a maximum average building height in the zone to be 55 feet or 4 ½ stories.
- Building fronts to be built to public sidewalk edge.
- No front yard parking.

PARKING

EDGES AND BUFFERS

ENVIRONMENT

	<u>min</u>	<u>max</u>
Alley Width		
ROW	22'	25'
Cartway	18'	21'
Alley Access Points	2	3
On-Street Stalls		
Length	20'	-
Width	8'	-

- Off-street parking provided through alley-loaded driveways and garages
- On-Street parking provided through parallel stalls
- Porous Pavement
- Belgian Block Curbing

	<u>min</u>	<u>max</u>
Street Tree Spacing (Distance on Center)	36'	50'
Planting Buffers		
• Maximize uniqueness to street		
• Custom Mailbox		
• Tree Grates		

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

	<u>min</u>	<u>max</u>
Parking spaces per dwelling unit	0.8	1.3
Driveway Length	20'	-
Driveway Width	8'	12'

- Non-residential parking to be provided at a ratio of 4 spots per 1000 square feet
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement
- Shared parking permitted

	<u>min</u>	<u>max</u>
Side and Rear Yard Fence Height	-	6'
Foundation Plantings		
• Planting Buffers between Different Land Uses		
• Parking Planting		
• Screen Ground Mounted Utility Boxes		
• Planters		
• Potted Plants		

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded garage with windows and storage space
- Individual garage doors
- Carports
- Structured Parking

	<u>min</u>	<u>max</u>
Patio Setback from Side and Rear Property Lines	5'	-
Pools and spas are not permitted		
Gutters shall be architecturally compatible with a building		

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

	<u>min</u>	<u>max</u>
Garage Height	10'	15'
Garage Width	14'	24'
Garage Depth	25'	-
Garage Setback	20'	-

- Structured parking shall have a maximum height of 2 levels.

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

MU

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front doors to upper floor use permitted or secondary facade
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid
- Buildings should be built to the sidewalk, public square or plaza edge

Building Height

- Maximum building height shall be 60 feet. For buildings with facades exceeding 100 feet a maximum average building height of 55 feet shall be permitted measured along the affected façade

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on all façade, upper floors – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows opening on first floor retail public facades – 70%
- Retail window must remain unobstructed on interior spaces.

Vertical Breaks

- Required every 30 feet minimum through use of offsets, fenestration, bay windows, balconies, balconettes or material change
- Maximum length of store front – 60 feet

Horizontal Breaks

- Required at a minimum of one (1) per every 24 feet of vertical height
- May use banding, setbacks or material change
- First floor retail shall have a minimum clear height of 16 feet

Roof Line

- Flat and mansard permitted
- Maximum length of roofline – 60 feet
- Minimum offset – 5 feet

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Metal Panels (accent)

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Store fronts encouraged to have awnings
- Store fronts must provide sign plate area
- Pop-out café windows are permitted
- Store fronts encouraged to be open and inviting to public
- Balconies, balconettes, terraces and/or patios are required at one (1) per d.u.
- Bay windows encouraged

Accessory Structures

- Structured parking is permitted
- Free standing garages are permitted
- Carports are permitted

PUBLIC SPACE NOTES

- Front of buildings built to public sidewalk
- Street furniture and amenities encouraged
- Entry plazas and courts should be designed to welcome public use
- Large store front windows required on first floor. Windows may be framed in wood
- First floor retail
- Screening of loading, service and trash storage areas is required

SEMI PUBLIC SPACE NOTES

- All semi-public space (i.e. yards, courts, plazas) must be fully appointed with landscaping of trees, shrubs and groundcover or a combination of decorative paving and landscaping. Where appropriate seating and lighting shall be provided.
- Semi-public space must be separated from public space by either a low garden wall, decorative fence (maximum 6' high), hedge material or a combination of the three.

PRIVATE SPACE NOTES

- Storage space is required for all uses
- Residential outdoor patio space is required

EDGES, BUFFERS & TRANSITIONS NOTES

- Parking lots adjacent to street edges must be screened with 4 ½ foot high hedge or masonry wall.
- Parking adjacent to residential use must be screened with minimum 6 foot high masonry wall or fence and must include 3 foot wide vegetated buffer – a minimum of 6' high at time of planting.
- Lighting must be screened from residential uses.

AMENITY NOTES

- Must provide at least one direct pedestrian connection between the parking and main street commercial per 150 feet of commercial frontage.
- Connection must be a minimum of 10 foot wide path with 5 foot wide landscaped edges.
- Must provide textured pedestrian crosswalks internal to parking lots.

PARKING AMENITIES/ACCESS NOTES

- Porous pavement and bio swales permitted
- Vehicle access from alley or secondary streets only
- Maximum one vehicle access point per secondary street frontage
- Lighting must be shielded from residential uses
- Must provide one pedestrian connection between parking and commercial main street every 200 feet minimum

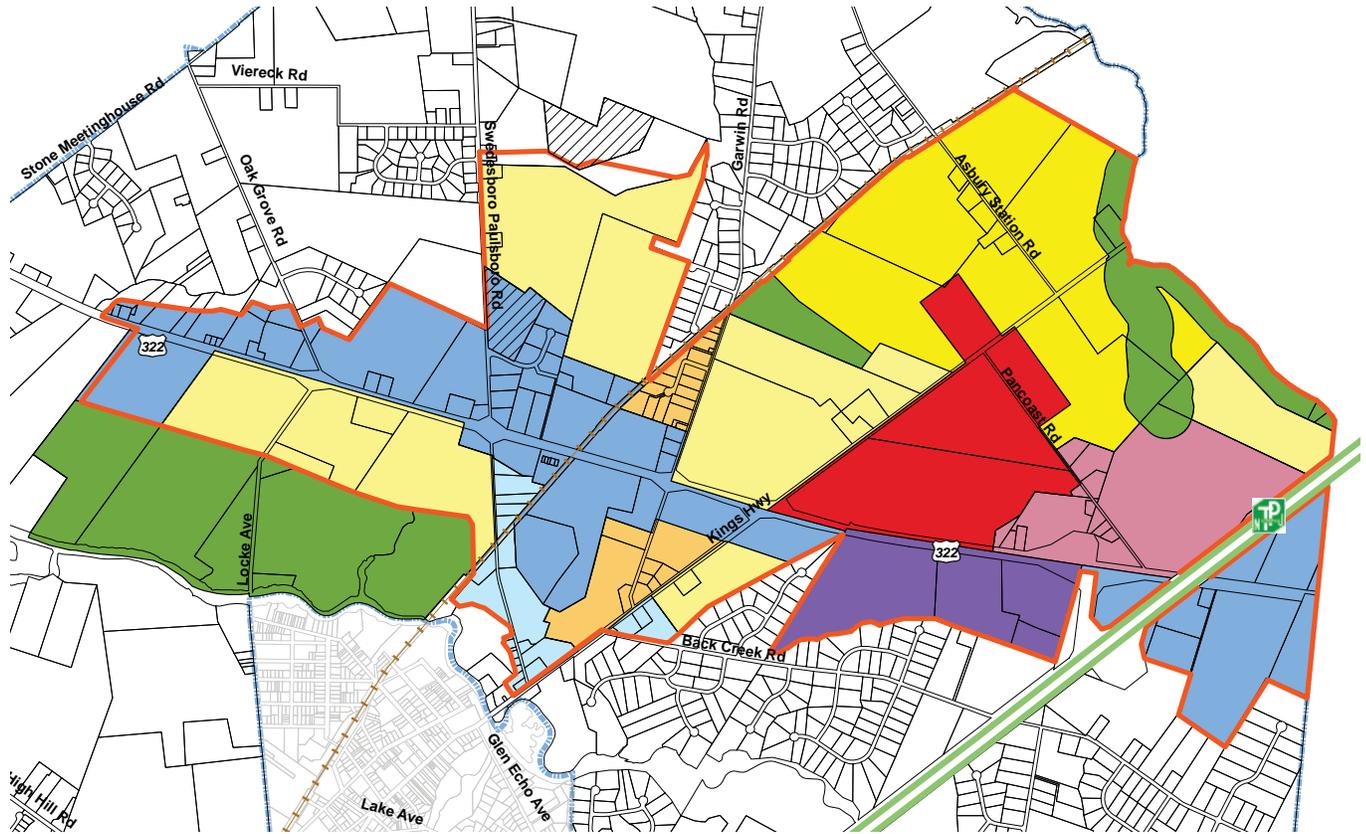
Big Box Retail (BBR)



Contents

- Big Box Retail

ZONING MAP



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-  RR-BD: Residential Receiving with Base Density
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-  R-2: Residential
-  CON: Conservation/Parks
-  NIKE Redevelopment Areas
-  Woolwich Regional Center
-  Woolwich Municipal Boundary

BBR

GOALS

To provide locations for regional big box retail commercial uses that are auto dependant, that are single or multi-use buildings and that may or may not be on individual lots.

DEFINITION

Single or multi-use buildings that address a multitude of big box and commercial pad site needs.

PHOTOS

The following examples best embody the purpose, goals and objectives of the big box retail unit:

- The addition of amenities such as fountains, squares and plazas provide site identity as well as focal points for customer use. The elements also act to reduce the harshness of large parking lots often associated with Big Box Retail.
- Scale of otherwise large buildings can be broken down through the use of offsets in façade and roof line, materials use and arcades and other sheltered walkways.
- Signage should be integrated into the façade design.



- Pad sites present the opportunities to establish a strong architectural edge along Route 322
- All vehicle circulation is internal to the site.
- Pedestrian pathways woven into the landscape are a key design requirement.

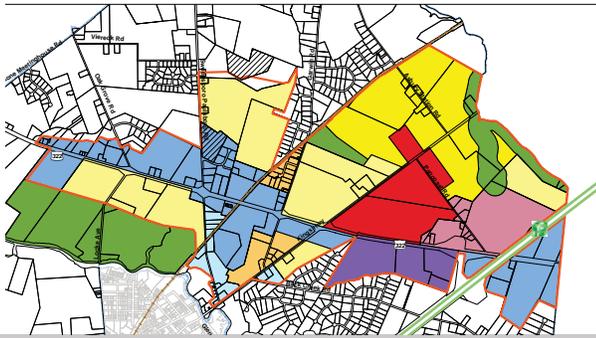


- Parking lots constitute the largest public or semi-public space in a Big Box Center. Details associated with the use of landscaping, textured pavement, wide sidewalks, textured crosswalks, lighting and street furniture all serve to control automobile speeds and to provide a safe and attractive pedestrian environment.
- Arrangement of buildings into small court yards help to reduce the scale perception of Big Box Buildings and makes parking proximate to front doors of multiple tenants.



BBR

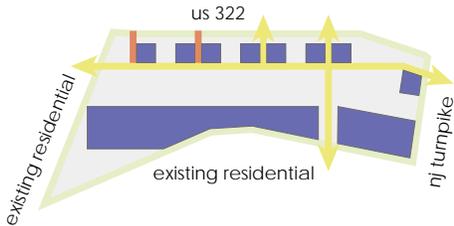
town scale



- Zone Acreage - 97.8
- FAR - 0.2 or approximately 900,000 s.f.

ARCHITECTURE AND DESIGN

site scale



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Sidewalk Width	5'	25'	<ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corner • Public and Private Outdoor Spaces accessible and visible to the Public • Plazas • Bus Shelters
• Planting Strip Width	4'	10'	
• Decorative Street Lighting (Distance on Center)	50'	75'	
• Lot Area	25 ac	-	
• Lot Width	200'	-	
• Corner Lot	200'	-	
• Lot Depth	250'	-	
• Impervious Coverage	-	80%	
• Front Yard Setback*	25'	-	
• Side Yard Setback*	25'	-	
• Rear Yard Setback	50'	-	

- Contextual Neighborhood Consistency
- Special Architectural Features at Corner
- Public and Private Outdoor Spaces accessible and visible to the Public
- Plazas
- Bus Shelters

legend

- preferred building locations
- required through streets w/ on-street parking
- required internal streets
- required edge treatments/ greenways
- preferred parking area locations

*From Exterior Roads only/Route 322

public realm



	<u>min</u>	<u>max</u>	<u>permitted design elements</u>
• Building Height	20'	60'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Front Façade Fenestration (per building)	15%	-	
• Side and Rear Façade Fenestration (per building)	10%	-	

- Dormers
- Gables
- Recessed Entries
- Cupolas or Towers
- Pillars or Posts
- Bay Windows
- Decorative Cornices
- First Floor Colonnade
- Porte Cocheres
- Decorative Patterns on Exterior Finish
- Porches
- Porticoes
- Arcades
- Terraces

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Decorative CMU, or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be "A" Frame, Flat, Pitched or combinations thereof. • All rooftop equipment shall be screened from view • Building façades shall be parallel to frontage property lines (where appropriate)
• Roof Pitch	-	9/12	
• Front and Side Yard Encroachments			
• Terrace	8'	-	
• Patio	8'	10'	
• Bay Window	-	8'	
• Awning	-	8'	
• Solar Screen	-	8'	
• Balcony/Balconette	-	8'	
• Rear Deck	-	8'	

- Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Decorative CMU, or similar material
- Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material
- Roof types shall be "A" Frame, Flat, Pitched or combinations thereof.
- All rooftop equipment shall be screened from view
- Building façades shall be parallel to frontage property lines (where appropriate)

- The purpose of the zone is to provide the opportunity for a large format, regionally based retail center that is attractive to national chains and large anchor stores
- Buildings are to be arranged in a manner that reinforces the Route 322 street edge while allowing for large parking fields
- Maximum building height - 60 feet
- On-street parking not permitted on Route 322
- Front Yard Parking permitted

PARKING

EDGES AND BUFFERS

ENVIRONMENT

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
<ul style="list-style-type: none"> • Alley Width <ul style="list-style-type: none"> ROW (where appropriate) 22' Cartway 18' • Alley Access Points 2 • On-Street Stalls <ul style="list-style-type: none"> Length 20' Width 8' • Off-street parking provided through driveways • Belgian Block Curbing or Concrete Curbing are permitted • Retail/Office parking shall be provided at a ratio of 4 spots per 1,000 s.f. of gross leasable area, excluding outdoor garden centers up to 18,000 s.f. or those that do not exceed 20% in size of the primary building, whichever is less. • Shared Parking conditionally permitted 			<ul style="list-style-type: none"> • Street Tree Spacing (Distance on Center) 25' • Side and Rear Yard Fence Height - • Planting Buffers <ul style="list-style-type: none"> Maximize uniqueness to street Custom Mailbox Tree Grates Planting Buffers between Different Land Uses Parking Planting Screen Ground Mounted Utility Boxes Planters Potted Plants 			<ul style="list-style-type: none"> • Porous Pavement and Rain Gardens encouraged for parking areas • Deciduous Street Trees encouraged to lower summer cooling load • Trees to modulate microclimate • Long-life trees encouraged to maximize green infrastructure funds • Xeriscape • Non-exotic, non-invasive species encouraged to minimize water needs • Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

	<u>min</u>	<u>max</u>	
<ul style="list-style-type: none"> • Structured Parking permitted 			<ul style="list-style-type: none"> • Patio Setback from Side and Rear Property Lines 5' • Gutters shall be architecturally compatible with a building

min max

- Window Boxes permitted
- Espaliers
- Roof Decks/Gardens permitted
- Green Roofs permitted
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood, Masonry, Metal (excluding woven wire) or similar material.
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

BBR

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade.
- At least 10 percent of a buildings front façade must be built to the minimum setback line. Along Route 322 to establish architectural street edge.

Building Height

- Maximum building height shall be 60 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 15%
- Windows more vertical than horizontal
- Minimum area of windows on side and rear façades that face Route 322 – 10%

Vertical Breaks

- 5 foot building offsets every 100 feet minimum
- Maximum façade length – 500 feet

Horizontal Breaks

- Material change, horizontal banding, window lines, pediments and offsets are required
- Required at a minimum of one (1) per every 24 feet of vertical height

Roof Line

- "A" frame, pitched and flat or combination thereof permitted
- Minimum five (5) foot offset required every 100 feet

Building Materials

- Brick
- Metal Panels of High Quality
- Stone
- Glass or Spandrel Glass
- Stucco
- Decorative CMU
- Synthetic trim boards
- Similar Materials

Roof Materials (Pitched Roofs)

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Similar Materials

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Solar screens, awnings and arcades may be used to provide user comfort, energy conservation and design unity
- Architecture shall reflect the difference between public vs. private doors and entries

Accessory Structures

- Drive through windows facing public streets are discouraged
- Parking structures are permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street or interval parking court
- Public sidewalks a minimum of 15 feet wide across building frontages

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted to address stormwater
- Parking courts shall be fully landscaped to breakdown scale, provide user comfort and to modulate microclimate
- Minimum 10% of a parking area shall be landscaping (applies to parking areas with 60 or more spaces)

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Minimum front yard wall, fence and hedge height – 3 feet high
- Maximum side yard edge height – 6 feet (exclusive of trees)
- Maximum rear yard edge height – 6 feet (exclusive of trees)
- Buffers must be provided on all external property edges
- Minimum front yard buffer width – 25 feet (from exterior roads/Route 322)
- Minimum side yard buffer width – 25 feet (from exterior roads/Route 322)
- Minimum rear yard buffer width – 50 feet
- Minimum buffer width adjacent to residential neighborhood – 75 feet

AMENITY NOTES

- Multi-purpose path within buffer
- Pedestrian system within parking court shall be comprehensive and articulated with textured pavement

PARKING AMENITIES/ACCESS NOTES

- Porous pavement parking courts and isles permitted to address stormwater
- Vehicle access from alley or secondary street system
- No parking in front yard

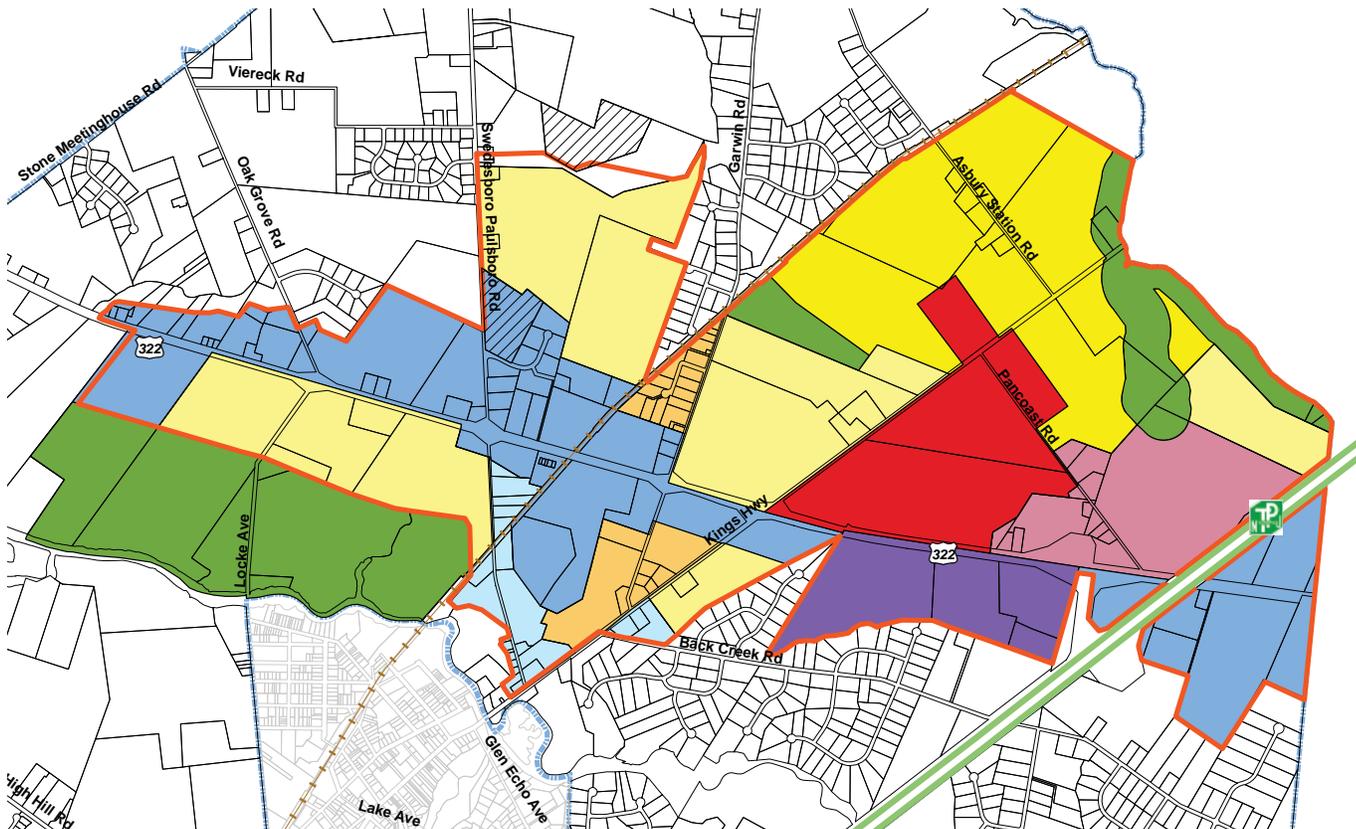
Regional Hotel/Office (RHO)



Contents

- Regional Hotel/Office

ZONING MAP



Legend

-  RR: Residential Receiving
-  RR-BD: Residential Receiving with Base Density
-  MU: Mixed Use
-  CC: Corridor Commercial
-  BBR: Big Box Retail
-  RHO: Regional Hotel/Office
-  NC: Neighborhood Commercial
-  R-2: Residential
-  CON: Conservation/Parks
-  NIKE Redevelopment Areas
-  Woolwich Regional Center
-  Woolwich Municipal Boundary

RHO

GOALS

To provide locations for every day services necessary to sustain a mixed use regional community with general commercial and general office locations that are quasi auto department, that are single use buildings and that may or may not be on individual lots.

DEFINITION

Single use buildings that address a multitude of regional hotel and office needs for a mixed use community

PHOTOS

The following examples best embody the purpose, goals and objectives of the regional hotel/office unit:

- Single use hotel and office buildings sit in a park-like setting where the quality of landscape features is a critical design element
- While largely auto dependent, the size of parking courts should be kept small and integrated into the total landscape concept
- The oversize portico matches the building scale and is appropriate for the grand scale of regional hotel and office
- Vertical scale is broken by two layers of horizontal banding



- Stormwater features can be designed as an amenity such as a lake and provide a community park setting to the wider residents of the township.
- The sophisticated use of materials such as glass and masonry helps to mitigate the large massing of the building. Approximately 60% of the façade is glass.
- The building is further broken down in scale by sitting the building in an “L” shape with a glass corridor connection. The “L” shape is an organizing element that helps provide context to the public space – like a public square.



- The vertical scale of the building is broken by the use of 3 layers of horizontal banding. The 3 alternating layers of masonry, glass and masonry help define the base, the body and the top of the building
- 2 foot to 10 foot vertical and horizontal offsets further mitigate the perception of large monolithic building
- Front yard parking is absent

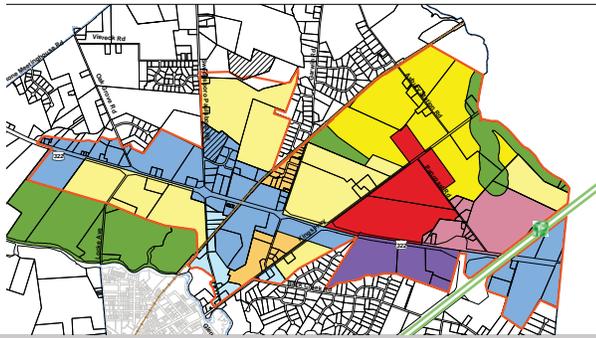


- Corner elements and roof line offsets provide architectural interest and identify the location of the “front” door
- The building façade is approximately 60% glass



RHO

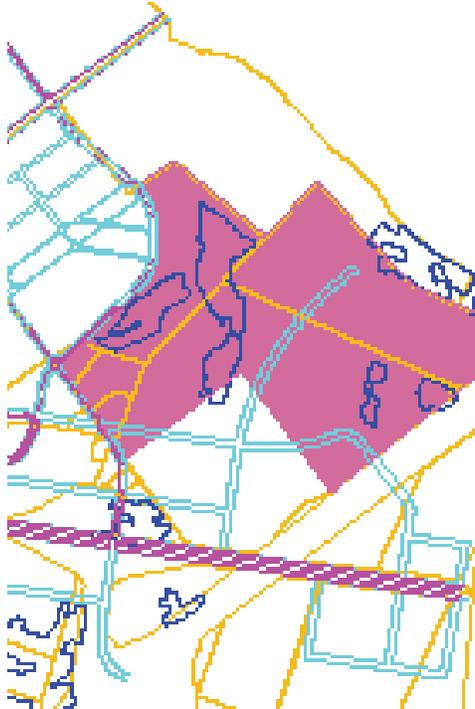
town scale



- Zone Acreage - 118.25 acres
- FAR - 0.25 or approximately 1,000,000 s.f.

ARCHITECTURE AND DESIGN

site scale



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Sidewalk Width	5'	10'	<ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corner • Public and Private Outdoor Spaces accessible and visible to the Public • Plazas • Bus Shelters
• Decorative Street Lighting (Distance on Center)	50'	75'	
• Lot Area	4 ac	-	
• Lot Width	200'	-	
• Corner Lot	200'	-	
• Lot Depth	250'	-	
• Impervious Coverage	-	80%	
• Front Yard Setback	35'	-	
• Side Yard Setback	25'	-	
• Rear Yard Setback	35'	-	

public realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	45'	60'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Eave Height	24'	36'	
• Window-to-Eave Offset	6"	-	
• Front Façade Fenestration	60%	-	
• Side and Rear Façade Fenestration	30%	-	
• Building Face or Roof Offset	16"	-	
• Window Trim Offset	2'	-	

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be "A" Frame, Flat, Mansard or combinations thereof. • All rooftop equipment shall be screened from view • Building façades shall be parallel to frontage property lines
• Roof Pitch	-	9/12	
• Front and Side Yard Encroachments			
• Terrace	8'	-	
• Patio	8'	10'	
• Bay Window	-	8'	
• Awning	-	8'	
• Solar Screen	-	8'	
• Balcony/Balconette	-	8'	
• Rear Deck	-	8'	

- The purpose of the zone is to provide for a hotel/ office park
- Buildings are to be arranged in a manner that reinforces street edges
- Maximum building height - 60 feet
- On-street parking not permitted on Route 322
- Front Yard Parking prohibited

PARKING

EDGES AND BUFFERS

ENVIRONMENT

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
• Alley Width			• Street Tree Spacing (Distance on Center)	36'	50'	• Porous Pavement and Rain Gardens encouraged for parking areas
ROW	22'	25'	• Side and Rear Yard Fence Height	-	6'	• Deciduous Street Trees encouraged to lower summer cooling load
Cartway	18'	21'	• Planting Buffers			• Trees to modulate microclimate
• Alley Access Points	2	3	• Maximize uniqueness to street			• Long-life trees encouraged to maximize green infrastructure funds
• On-Street Stalls			• Custom Mailbox			• Xeriscape
Length	20'	-	• Tree Grates			• Non-exotic, non-invasive species encouraged to minimize water needs
Width	8'	-	• Foundation Plantings			• Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.
• Off-street parking provided through driveways			• Planting Buffers between Different Land Uses			
• Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving or Porous Pavement			• Parking Planting			
• Belgian Block Curbing			• Screen Ground Mounted Utility Boxes			
• Hotel/Office parking shall be provided at a ratio of 4 spots per 1,000 s.f.ing conditionally permitted			• Planters			
			• Potted Plants			

• Carports			• Patio Setback from Side and Rear Property Lines	5'	-	• North-South Building Orientation
• Structured Parking			• Gutters shall be architecturally compatible with a building			• Solar Screen
						• Solar Panel
						• Discharge spouts shall have splash parts or be discharged underground

min max

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RHO

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid

Building Height

- Maximum building height shall be 60 feet

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 60%
- Minimum area of windows on side and rear facades – 30%

Vertical Breaks

- 5 foot building offsets every 100 feet minimum

Horizontal Breaks

- Material change, horizontal banding, window lines and pediments are required
- Required at a minimum of one (1) per every 24 feet of vertical height

Roof Line

- Flat and mansard permitted
- Minimum five (5) foot offset required every 100 feet

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt shingles
- Raised seam metal
- Tiles
- Slate

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Solar screens, awnings and arcades shall be used to provide user comfort, energy conservation and design unity
- Architecture shall reflect the difference between public vs. private doors and entry's
- Balconies and balconettes encouraged

Accessory Structures

- Structural parking permitted
- Carports permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street or interval parking court

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted to address stormwater
- Parking courts shall be fully landscaped to break-down scale, provide user comfort and to modulate micro climate
- Minimum 15% of interior of parking court shall be landscaping

PRIVATE SPACE NOTES

- Storage space required
- Outdoor patio space required

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Minimum front yard wall, fence and hedge height – 3 ½ feet high
- Maximum side yard edge height – 6 feet (exclusive of trees)
- Maximum rear yard edge height – 6 feet (exclusive of trees)
- Buffers must be provided on all external property edges
- Minimum front yard buffer width – 30 feet
- Minimum side yard buffer width – 30 feet
- Minimum rear yard buffer width – 50 feet
- Minimum buffer width adjacent to residential neighborhood – 75 feet

AMENITY NOTES

- Multi-purpose path within buffer
- Pedestrian system within parking court shall be designed with textured pavement – required
- Minimum 10 foot wide sidewalks adjacent to buildings

PARKING AMENITIES/ACCESS NOTES

- Porous pavement parking courts and isles permitted to address stormwater
- Vehicle access from alley or secondary street system
- No parking in front yard

Conservation

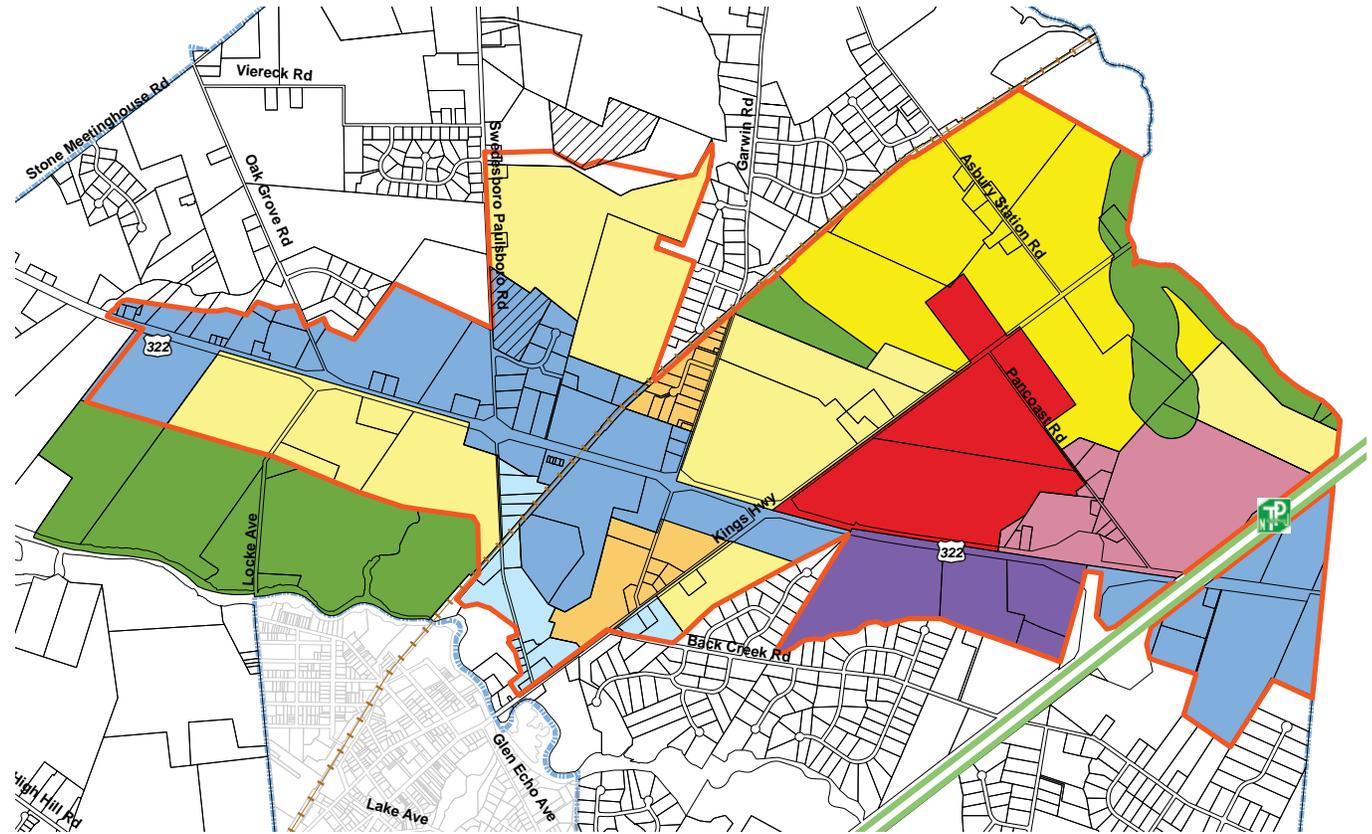


Image by Mwanner of Wikimedia

Contents

- Conservation

ZONING MAP



Legend

-  RR: Residential Receiving
-  RR-BD: Residential Receiving with Base Density
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-  RHO: Regional Hotel/Office
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-  R-2: Residential
-  CON: Conservation/Parks
-  NIKE Redevelopment Areas
-  Woolwich Regional Center
-  Woolwich Municipal Boundary

CON

GOALS

To provide protection for and exclude development on environmentally sensitive lands.

DEFINITION

Lands which due to their environmental attributes and/or sensitivity are protected from development and its impacts.

Development is prohibited on areas within the Conservation - CON zone. As such, bulk and design standards are not provided.

Large format retail, Big box retail, Office and hotel, Neo-traditional senior community(RC-3 OVERLAY)



Contents

- Large Format Retail
- Big Box Retail
- Regional Hotel/Office
- Townhouse
- Twin with Alley
- Single-Family Detached with Alley
- Flats

RC-3 OVERLAY

The RC-3 Overlay zone represents the zoning that was in place at the time of the Adult Settlement Agreement. While the zoning has since been updated, as reflected earlier in this document, any developer is also entitled to develop in accordance with the expired Agreement. The following pages represent this “RC-3 Overlay” zoning.

RC-3 OVERLAY LARGE FORMAT RETAIL

GOALS

To provide locations for regional commercial uses that include life style commercial and office locations that are quasi auto dependant and that are single or multi-use buildings and that may or may not be on individual lots.

DEFINITION

Single or multi-use buildings that address a multitude of regional commercial needs in a walkable lifestyle commercial configuration.

RC-3 OVERLAY LARGE FORMAT RETAIL

PHOTOS

The following examples best embody the purpose, goals and objectives of the large format retail unit:

- Attractive one story retail main streets work well when the architecture is accentuated vertically to provide a sense of enclosure on the street
- Large glass store fronts provide an inviting image to shoppers
- Arcades provide user comfort and help to modulate the architectural rhythm relating it to the human scale



- Second story office use is encouraged. It provides on-site users of the first floor retail
- Most national chains now have architecture that will fit into a main street setting
- Solar screens and awning provide shade to lower floors
- Creative use of projecting bays, fenestration and materials provide architectural interest to the street and may serve as a reference to a special place in the community



- Sidewalks should be designed with a generous width to encourage walking and outdoor dining
- Signage should be artfully incorporated into the building façade - less is sometimes more
- Appropriate levels of lighting are important to provide user comfort in evening hours – decorative lighting fixtures add to the design of the environment



- Public or semi-public plazas or greens are important to: provide context to the land plan; provide gathering places on a daily basis; and, to provide a place for special events
- The use of landscaping, walkways, fountains and architectural follies helps to provide context to public and semi-public open space



RC-3 OVERLAY LARGE FORMAT RETAIL

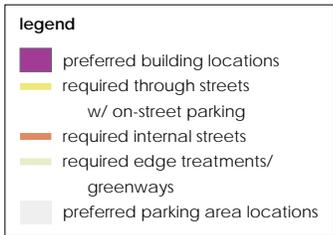
town scale



- Zone Acreage - Subject to Woolwich Adult Settlement Agreement
- FAR - 0.25 or approximately 1,100,000 s.f.

ARCHITECTURE AND DESIGN

site scale



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Sidewalk Width	5'	20'	<ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corner • Public and Private Outdoor Spaces accessible and visible to the Public • Plazas • Bus Shelters
• Planting Strip Width	4'	10'	
• Decorative Street Lighting (Distance on Center)	50'	75'	
• Lot Area	25 ac	-	
• Lot Width	200'	-	
• Lot Width Corner Lot	200'	-	
• Lot Depth	250'	-	
• Impervious Coverage	-	80%	
• Front Yard Setback*	35'	-	
• Side Yard Setback*	35'	-	
• Building Separation	30'	-	

* Front and side yard setbacks from Kings Highway and Pancoast Road is 25' (minimum) without on street parking and 0' (minimum) with on street parking.

public realm



	<u>min</u>	<u>max</u>	<u>permitted design elements</u>
• Building Height	20'	60'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Front Façade Fenestration (<u>average</u>)	70%	-	
• Side and Rear Façade Fenestration (<u>average</u>)	30%	-	
• Building Face or Roof Offset	16"	-	
• Window Trim Offset	16"	4'	

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Decorative CMU, or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be Flat, Pitched or combinations thereof. • All rooftop equipment shall be screened from view • Building façades shall be parallel to frontage property lines (where appropriate)
• Roof Pitch	-	9/12	
• Front and Side Encroachments			
• Terrace	8'	-	
• Patio	8'	10'	
• Bay Window	-	8'	
• Awning	-	8'	
• Solar Screen	-	8'	
• Balcony/Balconette	-	8'	
• Rear Deck	-	8'	

RC-3 OVERLAY LARGE FORMAT RETAIL

- The purposed of the zone is to provide the opportunity for a regionally based, walkable commercial Main Street that is attractive to national chain stores, small boutiques and offices
- Building configurations are to follow the street regulating plan with key streets fully accessible to the public on a full-time basis
- Buildings built to sidewalk edge
- Buildings to be built out to perimeter county streets to establish a strong architecture street edge
- Maximum building height - 60 feet
- On-street parking permitted on interior roads

PARKING

EDGES AND BUFFERS

ENVIRONMENT

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
<ul style="list-style-type: none"> • Alley Width <ul style="list-style-type: none"> ROW (where appropriate) 22' Cartway 18' • Alley Access Points 2 • On-Street Stalls <ul style="list-style-type: none"> Length 20' Width 8' • Off-street parking provided through alley-loaded driveways • On-Street parking provided through parallel stalls • Colored Asphalt, Scored Concrete, Decorative Paving or Porous Pavement are encouraged • Belgian Block Curbing or Concrete Curbing permitted • Retail/Office parking shall be provided at a ratio of 4 spots per 1,000 s.f. of gross leasable area, excluding outdoor garden centers up to 18,000 s.f. or those that do not exceed 20% in size of the primary building, whichever is less. • Shared Parking conditionally permitted 			<ul style="list-style-type: none"> • Street Tree Spacing (Distance on Center) 25' • Side and Rear Yard Fence Height - • Planting Buffers <ul style="list-style-type: none"> Maximize uniqueness to street Custom Mailbox Tree Grates Planting Buffers between Different Land Uses • Parking Planting • Screen Ground Mounted Utility Boxes • Planters • Potted Plants 			<ul style="list-style-type: none"> • Porous Pavement and Rain Gardens encouraged for parking areas • Deciduous Street Trees encouraged to lower summer cooling load • Trees to modulate microclimate • Long-life trees encouraged to maximize green infrastructure funds • Xeriscape • Non-exotic, non-invasive species encouraged to minimize water needs • Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

<ul style="list-style-type: none"> • Carports permitted • Structured Parking permitted 			<ul style="list-style-type: none"> • Patio Setback from Side and Rear Property Lines 5' • Gutters shall be architecturally compatible with a building 			<ul style="list-style-type: none"> • Solar Screen permitted • Solar Panel permitted • Discharge spouts shall have splash parts or be discharged underground
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- Window Boxes permitted
- Espaliers
- Roof Decks/Gardens permitted
- Green Roofs permitted
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood, Masonry, Metal (excluding woven wire) or similar material.
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RC-3 OVERLAY LARGE FORMAT RETAIL

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street where appropriate with primary pedestrian access points directly accessing the street façade. Front door required on street with public easement
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- A minimum of 150 feet of each building shall be built to the required minimum setback line from the cartway of Kings Highway, Pancoast Road and Route 322

Building Height

- Maximum building height shall be 60 feet

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 70% (buildings 20,000 s.f. or less)
- Minimum area of window opening on front facades - 30% (buildings 20,000 s.f. or greater)
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side or rear façades – 30%

Vertical Breaks

- 2 foot building offsets every 60 feet minimum

Horizontal Breaks

- Use of material change, horizontal banding, window lines, pediments and offsets, etc, or a combination thereof are required
- Required at a minimum of one (1) per every 16 feet of vertical height

Roof Line

- Flat and Pitched, or a combination thereof permitted
- Minimum two (2) foot offset required every 60 feet when multiple units

Building Materials

- Brick
- Metal Panels of a High Quality
- Stone
- Glass or Spandrel Glass
- Stucco
- Decorative CMU
- Synthetic trim boards
- Similar Material

Roof Materials (Pitched Roofs)

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Similar Material

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Solar screens, awnings and arcades are permitted in conjunction with trees to provide user comfort, energy conservation and design unity
- Architecture shall reflect the difference between public vs. private doors and entry's
- Balconies encouraged on upper floors

Accessory Structures

- Structured parking is permitted
- Carports are permitted

PUBLIC SPACE NOTES

- Front of building constructed to sidewalk with public easement
- Front doors on public streets with public easements
- Sidewalks to be a minimum 15 feet wide across building frontages
- Screening of loading, service and trash storage areas required

RC-3 OVERLAY LARGE FORMAT RETAIL

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted to address stormwater
- Pedestrian sidewalks shall be a minimum of 10 feet wide, except along the perimeter of the property, where on-street parking is not permitted, a minimum of 5 feet is permitted
- Parking courts shall be fully landscaped to break-down scale, provide user comfort and to modulate micro climate
- Minimum 10% of a parking area shall be landscaping (applies only to parking areas with 40 or more spaces)

AMENITY NOTES

- Multi-purpose path within buffer
- Pedestrian system within parking court shall be comprehensive and articulated with textured pavement

PARKING AMENITIES/ACCESS NOTES

- Porous pavement parking courts and isles permitted to address stormwater
- Vehicle access from alley or secondary street system
- No parking in front yard

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Minimum Front yard wall, fence and hedges height – 3 feet
- Maximum edge height for side yards – 6 feet (exclusive of trees)
- Maximum edge height for rear yards – 6 feet (exclusive of trees)
- Buffers must be provided on all external property edges
- Minimum front yard buffer width – 35 feet (for Route 322 only, from perimeter roadway except where on-street parking is permitted)
- Minimum side yard buffer width – 35 feet (for Route 322 only, from perimeter roadway except where on-street parking is permitted)

RC-3 OVERLAY BIG BOX RETAIL

GOALS

To provide locations for regional big box retail commercial uses that are auto dependant, that are single or multi-use buildings and that may or may not be on individual lots.

DEFINITION

Single or multi-use buildings that address a multitude of big box and commercial pad site needs.

RC-3 OVERLAY BIG BOX RETAIL

PHOTOS

The following examples best embody the purpose, goals and objectives of the big box retail unit:

- The addition of amenities such as fountains, squares and plazas provide site identity as well as focal points for customer use. The elements also act to reduce the harshness of large parking lots often associated with Big Box Retail.
- Scale of otherwise large buildings can be broken down through the use of offsets in façade and roof line, materials use and arcades and other sheltered walkways.
- Signage should be integrated into the façade design.



- The playful use of signage can serve to break down the scale of otherwise large buildings when integrated into the entire architectural design of the building and used in conjunction with vertical and horizontal building offsets, material changes and orientation of horizontal and vertical elements.
- Over-scaled objects can serve as both whimsical sculpture and safety bollards to protect pedestrians. The objects further provide a playful dialogue on scale within the public and semi-public spaces.
- Public entry points should be distinguished in the architecture.
- It is important to use architectural techniques to reduce the perception that Big Box Stores are horizontal buildings with large blank walls. Creative use of materials offsets and glass will be required.



- Pad sites present the opportunities to establish a strong architectural edge along Route 322
- All vehicle circulation is internal to the site.
- Pedestrian pathways woven into the landscape are a key design requirement.

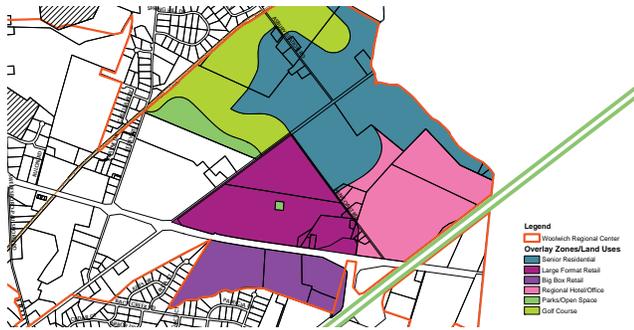


- Parking lots constitute the largest public or semi-public space in a Big Box Center. Details associated with the use of landscaping, textured pavement, wide sidewalks, textured crosswalks, lighting and street furniture all serve to control automobile speeds and to provide a safe and attractive pedestrian environment.
- Arrangement of buildings into small court yards help to reduce the scale perception of Big Box Buildings and makes parking proximate to front doors of multiple tenants.



RC-3 OVERLAY BIG BOX RETAIL

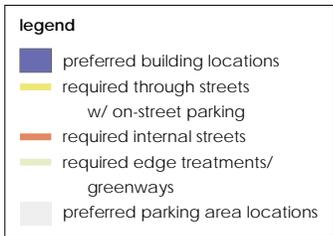
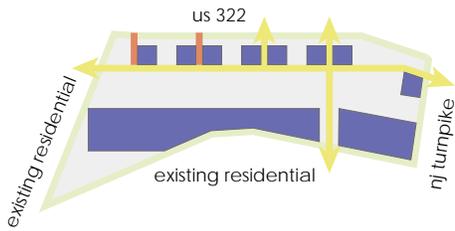
town scale



- Zone Acreage - Subject to Woolwich Adult Settlement Agreement
- FAR - 0.2 or approximately 900,000 s.f.

ARCHITECTURE AND DESIGN

site scale



	<u>min</u>	<u>max</u>
• Sidewalk Width	5'	25'
• Planting Strip Width	4'	10'
• Decorative Street Lighting (Distance on Center)	50'	75'
• Lot Area	25 ac	-
• Lot Width	200'	-
• Corner Lot	200'	-
• Lot Depth	250'	-
• Impervious Coverage	-	80%
• Front Yard Setback*	25'	-
• Side Yard Setback*	25'	-
• Rear Yard Setback	50'	-

- design elements
- Contextual Neighborhood Consistency
 - Special Architectural Features at Corner
 - Public and Private Outdoor Spaces accessible and visible to the Public
 - Plazas
 - Bus Shelters

*From Exterior Roads only/Route 322

public realm



	<u>min</u>	<u>max</u>
• Building Height	20'	60'
• Front Façade Fenestration (per building)	15%	-
• Side and Rear Façade Fenestration (per building)	10%	-

permitted design elements

- Dormers
- Gables
- Recessed Entries
- Cupolas or Towers
- Pillars or Posts
- Bay Windows
- Decorative Cornices
- First Floor Colonnade
- Porte Cochères
- Decorative Patterns on Exterior Finish
- Porches
- Porticoes
- Arcades
- Terraces

private realm



	<u>min</u>	<u>max</u>
• First Story Clear Height	10'	15'
• Roof Pitch	-	9/12
• Front and Side Yard Encroachments		
• Terrace	8'	-
• Patio	8'	10'
• Bay Window	-	8'
• Awning	-	8'
• Solar Screen	-	8'
• Balcony/Balconette	-	8'
• Rear Deck	-	8'

design elements

- Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Decorative CMU, or similar material
- Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material
- Roof types shall be "A" Frame, Flat, Pitched or combinations thereof.
- All rooftop equipment shall be screened from view
- Building façades shall be parallel to frontage property lines (where appropriate)

RC-3 OVERLAY BIG BOX RETAIL

- The purpose of the zone is to provide the opportunity for a large format, regionally based retail center that is attractive to national chains and large anchor stores
- Buildings are to be arranged in a manner that reinforces the Route 322 street edge while allowing for large parking fields
- Maximum building height - 60 feet
- On-street parking not permitted on Route 322
- Front Yard Parking permitted

PARKING

- | | <u>min</u> | <u>max</u> |
|-------------------------|------------|------------|
| Alley Width | | |
| ROW (where appropriate) | 22' | 25' |
| Cartway | 18' | 21' |
| Alley Access Points | 2 | 3 |
| On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through driveways
 - Belgian Block Curbing or Concrete Curbing are permitted
 - Retail/Office parking shall be provided at a ratio of 4 spots per 1,000 s.f. of gross leasable area, excluding outdoor garden centers up to 18,000 s.f. or those that do not exceed 20% in size of the primary building, whichever is less.
 - Shared Parking conditionally permitted

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Street Tree Spacing (Distance on Center) | 25' | 50' |
| Side and Rear Yard Fence Height | - | 6' |
- Planting Buffers
 - Maximize uniqueness to street
 - Custom Mailbox
 - Tree Grates
 - Planting Buffers between Different Land Uses
 - Parking Planting
 - Screen Ground Mounted Utility Boxes
 - Planters
 - Potted Plants

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for parking areas
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate
- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Structured Parking permitted

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| Patio Setback from Side and Rear Property Lines | 5' | - |
- Gutters shall be architecturally compatible with a building

- Solar Screen permitted
- Solar Panel permitted
- Discharge spouts shall have splash parts or be discharged underground

min max

- Window Boxes permitted
- Espaliers
- Roof Decks/Gardens permitted
- Green Roofs permitted
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood, Masonry, Metal (excluding woven wire) or similar material.

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RC-3 OVERLAY BIG BOX RETAIL

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade.
- At least 10 percent of a buildings front façade must be built to the minimum setback line. Along Route 322 to establish architectural street edge.

Building Height

- Maximum building height shall be 60 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 15%
- Windows more vertical than horizontal
- Minimum area of windows on side and rear façades that face Route 322 – 10%

Vertical Breaks

- 5 foot building offsets every 100 feet minimum
- Maximum façade length – 500 feet

Horizontal Breaks

- Material change, horizontal banding, window lines, pediments and offsets are required
- Required at a minimum of one (1) per every 24 feet of vertical height

Roof Line

- "A" frame, pitched and flat or combination thereof permitted
- Minimum five (5) foot offset required every 100 feet

Building Materials

- Brick
- Metal Panels of High Quality
- Stone
- Glass or Spandrel Glass
- Stucco
- Decorative CMU
- Synthetic trim boards
- Similar Materials

Roof Materials (Pitched Roofs)

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Similar Materials

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Solar screens, awnings and arcades may be used to provide user comfort, energy conservation and design unity
- Architecture shall reflect the difference between public vs. private doors and entries

Accessory Structures

- Drive through windows facing public streets are discouraged
- Parking structures are permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street or interval parking court
- Public sidewalks a minimum of 15 feet wide across building frontages

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted to address stormwater
- Parking courts shall be fully landscaped to breakdown scale, provide user comfort and to modulate microclimate
- Minimum 10% of a parking area shall be landscaping (applies to parking areas with 60 or more spaces)

RC-3 OVERLAY BIG BOX RETAIL

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Minimum front yard wall, fence and hedge height – 3 feet high
- Maximum side yard edge height – 6 feet (exclusive of trees)
- Maximum rear yard edge height – 6 feet (exclusive of trees)
- Buffers must be provided on all external property edges
- Minimum front yard buffer width – 25 feet (from exterior roads/Route 322)
- Minimum side yard buffer width – 25 feet (from exterior roads/Route 322)
- Minimum rear yard buffer width – 50 feet
- Minimum buffer width adjacent to residential neighborhood – 75 feet

AMENITY NOTES

- Multi-purpose path within buffer
- Pedestrian system within parking court shall be comprehensive and articulated with textured pavement

PARKING AMENITIES/ACCESS NOTES

- Porous pavement parking courts and isles permitted to address stormwater
- Vehicle access from alley or secondary street system
- No parking in front yard

RC-3 OVERLAY REGIONAL HOTEL/OFFICE

GOALS

To provide locations for every day services necessary to sustain a mixed use regional community with general commercial and general office locations that are quasi auto department, that are single use buildings and that may or may not be on individual lots.

DEFINITION

Single use buildings that address a multitude of regional hotel and office needs for a mixed use community

RC-3 OVERLAY REGIONAL HOTEL/OFFICE

PHOTOS

The following examples best embody the purpose, goals and objectives of the regional hotel/office unit:

- Single use hotel and office buildings sit in a park-like setting where the quality of landscape features is a critical design element
- While largely auto dependent, the size of parking courts should be kept small and integrated into the total landscape concept
- The oversize portico matches the building scale and is appropriate for the grand scale of regional hotel and office
- Vertical scale is broken by two layers of horizontal banding



- Stormwater features can be designed as an amenity such as a lake and provide a community park setting to the wider residents of the township.
- The sophisticated use of materials such as glass and masonry helps to mitigate the large massing of the building. Approximately 60% of the façade is glass.
- The building is further broken down in scale by sitting the building in an “L” shape with a glass corridor connection. The “L” shape is an organizing element that helps provide context to the public space – like a public square.



- The vertical scale of the building is broken by the use of 3 layers of horizontal banding. The 3 alternating layers of masonry, glass and masonry help define the base, the body and the top of the building
- 2 foot to 10 foot vertical and horizontal offsets further mitigate the perception of large monolithic building
- Front yard parking is absent

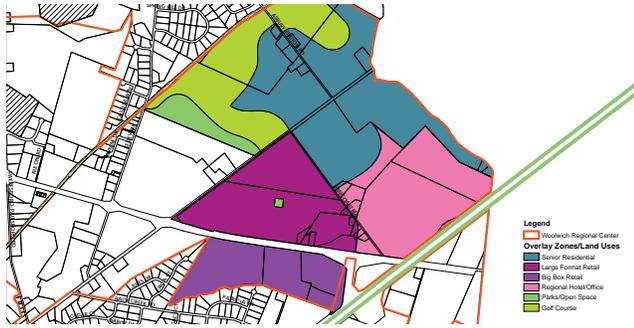


- Corner elements and roof line offsets provide architectural interest and identify the location of the “front” door
- The building façade is approximately 60% glass



RC-3 OVERLAY REGIONAL HOTEL/OFFICE

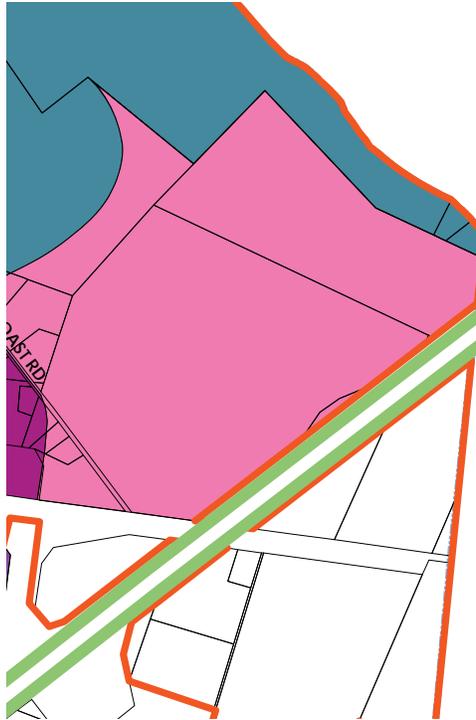
town scale



- Zone Acreage - Subject to Woolwich Adult Settlement Agreement
- FAR - 0.25 or approximately 1,000,000 s.f.

ARCHITECTURE AND DESIGN

site scale



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Sidewalk Width	5'	10'	<ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corner • Public and Private Outdoor Spaces accessible and visible to the Public • Plazas • Bus Shelters
• Decorative Street Lighting (Distance on Center)	50'	75'	
• Lot Area	4 ac	-	
• Lot Width	200'	-	
• Lot Width Corner Lot	200'	-	
• Lot Depth	250'	-	
• Impervious Coverage	-	80%	
• Front Yard Setback	35'	-	
• Side Yard Setback	25'	-	
• Rear Yard Setback	35'	-	

public realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	45'	60'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Eave Height	24'	36'	
• Window-to-Eave Offset	6"	-	
• Front Façade Fenestration	60%	-	
• Side and Rear Façade Fenestration	30%	-	
• Building Face or Roof Offset	16"	-	
• Window Trim Offset	2'	-	

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be "A" Frame, Flat, Mansard or combinations thereof. • All rooftop equipment shall be screened from view • Building façades shall be parallel to frontage property lines
• Roof Pitch	-	9/12	
• Front and Side Yard Encroachments			
• Terrace	8'	-	
• Patio	8'	10'	
• Bay Window	-	8'	
• Awning	-	8'	
• Solar Screen	-	8'	
• Balcony/Balconette	-	8'	
• Rear Deck	-	8'	

RC-3 OVERLAY REGIONAL HOTEL/OFFICE

- The purpose of the zone is to provide for a hotel/ office park
- Buildings are to be arranged in a manner that reinforces street edges
- Maximum building height - 60 feet
- On-street parking not permitted on Route 322
- Front Yard Parking prohibited

PARKING

- | | <u>min</u> | <u>max</u> |
|-----------------------|------------|------------|
| • Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| • Alley Access Points | 2 | 3 |
| • On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through driveways
 - Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving or Porous Pavement
 - Belgian Block Curbing
 - Hotel/Office parking shall be provided at a ratio of 4 spots per 1,000 s.f.ing conditionally permitted

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| • Street Tree Spacing (Distance on Center) | 36' | 50' |
| • Side and Rear Yard Fence Height | - | 6' |
- Planting Buffers
 - Maximize uniqueness to street
 - Custom Mailbox
 - Tree Grates
 - Foundation Plantings
 - Planting Buffers between Different Land Uses
 - Parking Planting
 - Screen Ground Mounted Utility Boxes
 - Planters
 - Potted Plants

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for parking areas
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate
- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Carports
- Structured Parking

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| • Patio Setback from Side and Rear Property Lines | 5' | - |
- Gutters shall be architecturally compatible with a building

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

<u>min</u>	<u>max</u>
------------	------------

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RC-3 OVERLAY REGIONAL HOTEL/OFFICE

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid

Building Height

- Maximum building height shall be 60 feet

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 60%
- Minimum area of windows on side and rear facades – 30%

Vertical Breaks

- 5 foot building offsets every 100 feet minimum

Horizontal Breaks

- Material change, horizontal banding, window lines and pediments are required
- Required at a minimum of one (1) per every 24 feet of vertical height

Roof Line

- Flat and mansard permitted
- Minimum five (5) foot offset required every 100 feet

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt shingles
- Raised seam metal
- Tiles
- Slate

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Solar screens, awnings and arcades shall be used to provide user comfort, energy conservation and design unity
- Architecture shall reflect the difference between public vs. private doors and entry's
- Balconies and balconettes encouraged

Accessory Structures

- Structural parking permitted
- Carports permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street or interval parking court

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted to address stormwater
- Parking courts shall be fully landscaped to break-down scale, provide user comfort and to modulate micro climate
- Minimum 15% of interior of parking court shall be landscaping

PRIVATE SPACE NOTES

- Storage space required
- Outdoor patio space required

RC-3 OVERLAY REGIONAL HOTEL/OFFICE

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Minimum front yard wall, fence and hedge height – 3 ½ feet high
- Maximum side yard edge height – 6 feet (exclusive of trees)
- Maximum rear yard edge height – 6 feet (exclusive of trees)
- Buffers must be provided on all external property edges
- Minimum front yard buffer width – 30 feet
- Minimum side yard buffer width – 30 feet
- Minimum rear yard buffer width – 50 feet
- Minimum buffer width adjacent to residential neighborhood – 75 feet

AMENITY NOTES

- Multi-purpose path within buffer
- Pedestrian system within parking court shall be designed with textured pavement – required
- Minimum 10 foot wide sidewalks adjacent to buildings

PARKING AMENITIES/ACCESS NOTES

- Porous pavement parking courts and isles permitted to address stormwater
- Vehicle access from alley or secondary street system
- No parking in front yard

RC-3 OVERLAY TOWNHOUSE

GOALS

To provide a mixture of unit sizes to address the needs and desires of those at various stages of life who wish to live in densities associated with townhouse living.

DEFINITION

A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement, being located on a separate lot, and being separated from adjoining dwelling unit by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation.

RC-3 OVERLAY TOWNHOUSE

PHOTOS

The following examples best embody the purpose, goals and objectives of the townhouse unit:

- Bay windows work to provide street rhythm and to breakdown the horizontal scale
- Small private front yard planting softens street environment
- Windows on side façade enliven corner buildings
- Stoop provides public/private transition
- Front door accentuated in scale
- Durable materials stand up to the test of time



- On a case by case basis townhouses may be arranged in a courtyard configuration with front doors and garages facing a landscaped parking/multi-purpose court
- Modern can coexist with traditional as long as well established rules of rhythm, scale and material choice are respected
- Low garden walls define courtyard edge
- High quality landscaping and surface materials such as pavers required in courtyard



- Slight variations in dormer design reduces monotony in otherwise identical units
- Low front yard garden walls provide appropriate public/private transition
- Large mansard roof element accentuates horizontal break to respect human scale at sidewalk level
- Generous windows on front façade provides internal light while animating street and promoting safety
- Roof gardens and decks provide necessary outdoor private space



- Vertical and horizontal architectural offsets and material changes reinforce human scale at street level
- Windows turning corner of building acknowledges special location at street intersection
- Solar screens provided reduces unit energy loads and provides horizontal break
- Variations in window dimensions provide interest to the street and address scale and rhythm issues



RC-3 OVERLAY TOWNHOUSE

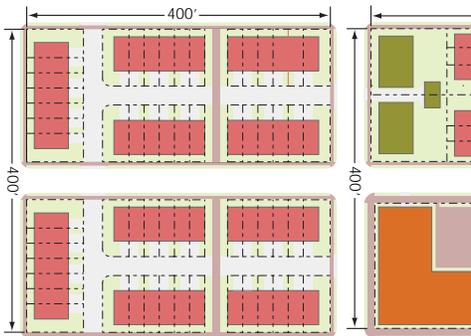
town scale



- RC-1 Acreage - 254 acres
- Maximum Number of Townhouse Units - 475 d.u..
- Density - 3.5 d.u./ac, with credits 4.45 d.u./ac
- Affordable units - min. 10%

ARCHITECTURE AND DESIGN

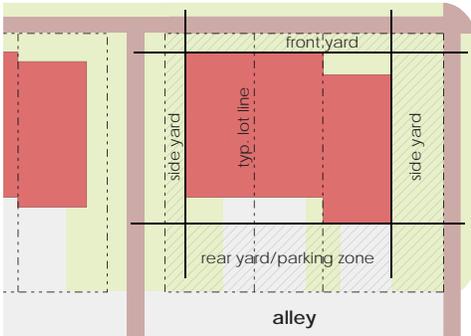
block scale



	<u>min</u>	<u>max</u>
• Block Length	175'	500'
• Block Perimeter	1150'	1800'
• Sidewalk Width	5'	10'
• Planting Strip Width	4'	10'
• Mid-block Crossings		
Number per block	1	3
ROW width	15'	20'
Path width	5'	10'
• Decorative Street Lighting (Distance on Center)	50'	75'

- design elements
- Contextual Neighborhood Consistency
 - Special Architectural Features at Corners
 - Public and Private Outdoor Spaces accessible and visible to the public

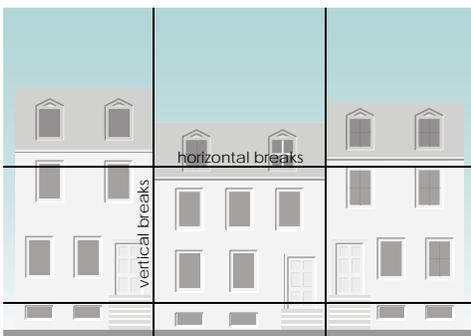
site scale



	<u>min</u>	<u>max</u>
• Lot Area	1500 sf	2625 sf
• Lot Width	20'	30'
Corner Lot	20'	35'
• Lot Depth	-	75'
• Building Coverage	-	60%
• Impervious Coverage	-	80%
• Front Yard Setback	5'	15'
• Side Yard Setback	0'	15'
• Rear Yard Setback	20'	-

- design elements
- No more than 8 units built in a row
 - Provide common mid-block crossing through building to rear alley if 8 units are built

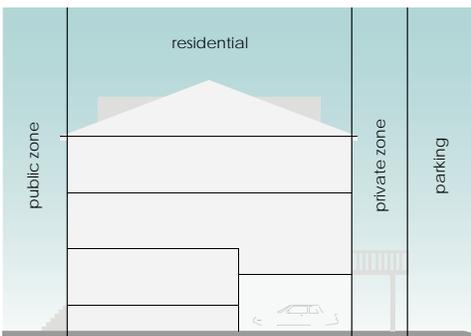
public realm



	<u>min</u>	<u>max</u>
• Building Height	30'	45'
• First Floor Elevation	2'	5'
• Eave Height	24'	36'
• Window-to-Eave Offset	1'	-
• Front Façade Fenestration	30%	-
• Side and Rear Façade Fenestration	20%	-
• Building Face or Roof Offset	2'	-

- design elements
- Dormers
 - Gables
 - Recessed Entries
 - Cupolas or Towers
 - Pillars or Posts
 - Bay Windows
 - Balconies/Balconettes
 - Decorative Cornices
 - First Floor Colonnade
 - Decorative Patterns on Exterior Finish
 - Usable Open or Covered Stoops
 - Porticoes

private realm



	<u>min</u>	<u>max</u>
• First Story Clear Height	10'	15'
• Roof Pitch	-	9/12
• Front and Side Encroachments		
Stoop	-	8'
Bay Window	-	4'
Awning	-	4'
Solar Screen	-	4'
Balcony/Balconette	-	4'
Rear Deck	-	8'

- design elements
- Building walls shall be Brick, Stone, Stucco or similar material
 - Synthetic Trim Board
 - Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material
 - Roof types shall be flat, gable, gambrel, mansard, hipped, salt box or combinations thereof
 - Exterior Chimneys shall be finished in Brick, Stone or Stucco
 - Chimney tops shall have decorative details
 - All rooftop equipment shall be screened from view

RC-3 OVERLAY TOWNHOUSE

- Townhouses are encouraged to provide architectural edges to open space
- A variety of unit sizes must be offered
- No front yard parking
- All vehicle access via alleys
- On-street parking

PARKING

- | | <u>min</u> | <u>max</u> |
|---------------------|------------|------------|
| Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| Alley Access Points | 2 | 3 |
| On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through alley-loaded driveways and garages
 - On-Street parking provided through parallel stalls
 - Porous Pavement
 - Belgian Block Curbing

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Street Tree Spacing (Distance on Center) | 36' | 50' |
| Planting Buffers | | |
| Maximize uniqueness to street | | |
| Custom Mailbox | | |

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| Ratio (spots/du) | 2.5 | - |
| Driveway Length | 20' | - |
| Driveway Width | 8' | 12' |
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Front Yard Hedge Height | - | 3' |
| Side and Rear Yard Fence Height | - | 6' |
| Foundation Plantings | | |
| Planting Buffers between Different Land Uses | | |
| Parking Planting | | |
| Screen Ground Mounted Utility Boxes | | |
| Pergolas | | |
| Trellises | | |
| Arbors | | |

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded attached garage with windows and storage space
- Individual garage doors

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| Deck Setback from Side and Rear Property Lines | 10' | - |
| Patio Setback from Side and Rear Property Lines | 5' | - |
| Pool | | |
| Spas | | |
| Gutters | | |
- Pools are not permitted
 - Spas are only permitted on or within a rear deck
 - Gutters shall be architecturally compatible with a building

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|----------------|------------|------------|
| Garage Height | 10' | 15' |
| Garage Width | 14' | 24' |
| Garage Depth | 25' | - |
| Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RC-3 OVERLAY TOWNHOUSE

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- 2 foot building offsets every 60 feet minimum

Horizontal Breaks

- Material changes, horizontal banding, window lines and pediments are required
- A minimum of one (1) break is required

Roof Line

- Flat, gable, gambrel, mansard, hipped and salt box permitted
- A minimum two (2) foot offset is required every 60 feet for multiple units

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Stoops required
- Balconies encouraged
- Rear decks are required with a minimum area of 160 square feet

Accessory Structures

- None

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens are permitted
- Front stoops encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Pools are not permitted
- Spas are only permitted on or within a rear deck

RC-3 OVERLAY TOWNHOUSE

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Walls, fences, hedges in front yards are prohibited
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailboxes
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- Vehicle access from alley only
- No parking in front yard

RC-3 OVERLAY TWIN WITH ALLEY

GOALS

To provide a mixture of unit sizes to address the needs and desires of seniors who wish to live in densities associated with twin living.

DEFINITION

A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement to one other dwelling unit, each located on a separate lot, and being separated from each other by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation.

RC-3 OVERLAY TWIN WITH ALLEY

PHOTOS

The following examples best embody the purpose, goals and objectives of the twin unit:

- Front porches provide entry features and a sitting area to converse and interact with passers-by
- Roof offsets combined with porches help to provide appropriate scale and rhythm
- Small front yards provide adequate privacy



- Modern can coexist with traditional as long as well established rules of rhythm, scale and material choice are respected
- Generous window dimensions animate the façade and help provide appropriate vertical and horizontal scale and rhythm
- Two foot vertical offsets conform to rules of vertical offsets
- Garden wall and front garden serve as public/private transition
- Material change provides vertical breaks



- When appropriately scaled, twins can serve as transition units between townhouses and single family detached units
- Twins need not be identical
- First and second floor porches and terraces provide necessary eyes on the street and private outdoor space

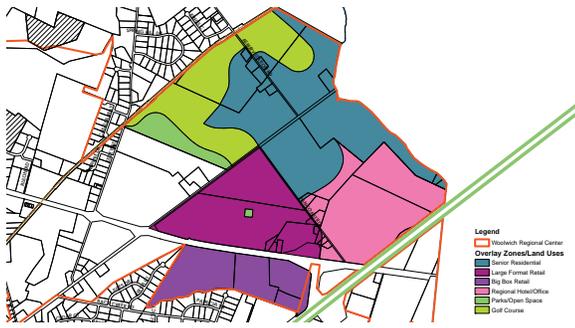


- Simple architecture following basic rules can be attractive
- Wrap around porch can add unique architectural element
- Low front yard fence provides appropriate public/private transition
- Water table element provides horizontal offset



RC-3 OVERLAY TWIN WITH ALLEY

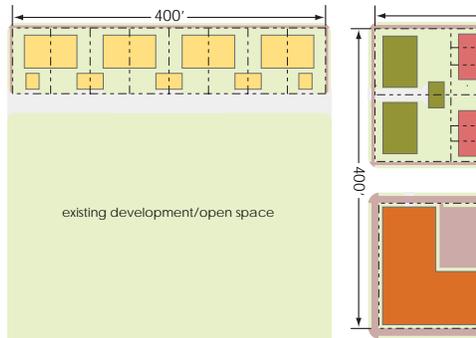
town scale



- Zoning Acreage - Subject to Woolwich Adult Settlement Agreement
- Maximum Number of Units - Subject to Woolwich Adult Settlement Agreement
- It is intended that a mix of housing types be provided

ARCHITECTURE AND DESIGN

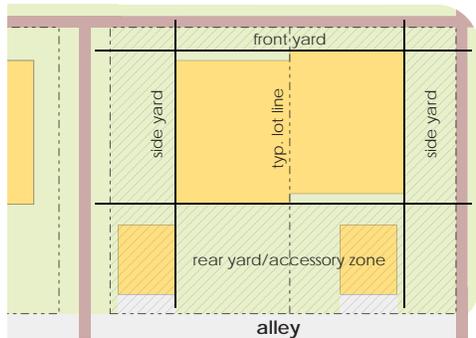
block scale



	<u>min</u>	<u>max</u>
• Block Length	175'	500'
• Block Perimeter	1150'	1850'
• Sidewalk Width	5'	10'
• Planting Strip Width	4'	10'
• Mid-block Crossings		
Number per block	1	3
ROW width	15'	20'
Path width	5'	10'
• Decorative Street Lighting (Distance on Center)	50'	75'

- design elements
- Contextual Neighborhood Consistency
 - Special Architectural Features at Corners
 - Public and Private Outdoor Spaces accessible and visible to the public

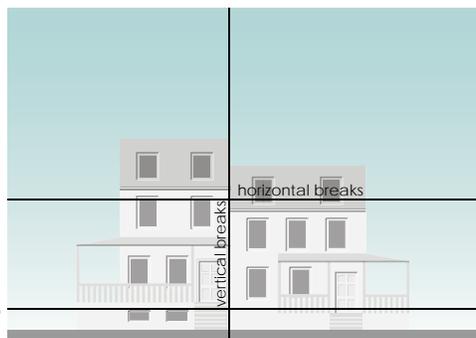
site scale



	<u>min</u>	<u>max</u>
• Lot Area	3000 sf	6250 sf
• Lot Width	40'	-
Corner Lot	40'	-
• Lot Depth	75'	125'
• Building Coverage	-	60%
• Impervious Coverage	-	80%
• Front Yard Setback	15'	30'
• Side Yard Setback	10'	15'
• Rear Yard Setback	20'	-
• Accessory Structure Setbacks		
Rear and Side Yard Principal Building	2'	5'
Principal Building	10'	-

- design elements
- Required break at party wall with adjacent twin
 - Vertical breaks with window treatment encouraged - bays, projections or recesses

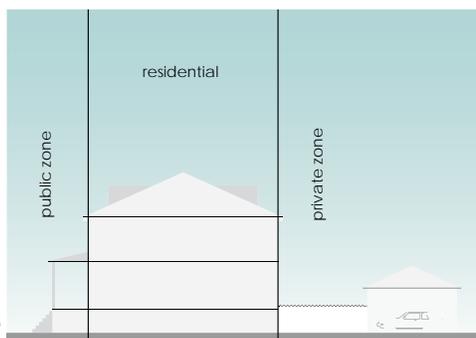
public realm



	<u>min</u>	<u>max</u>
• Building Height	30'	45'
• First Floor Elevation	2'	5'
• Eave Height	24'	36'
• Window-to-Eave Offset	1'	-
• Front Façade Fenestration	30%	-
• Side and Rear Façade Fenestration	20%	-
• Building Face or Roof Offset	2'	-

- design elements
- Dormers
 - Gables
 - Recessed Entries
 - Cupolas or Towers
 - Pillars or Posts
 - Bay Windows
 - Balconies/Balconettes
 - Decorative Cornices
 - First Floor Colonnade
 - Decorative Patterns on Exterior Finish
 - Front Porches
 - Usable Open or Covered Stoops
 - Porticoes

private realm



	<u>min</u>	<u>max</u>
• First Story Clear Height	10'	15'
• Roof Pitch	-	9/12
• Front and Side Encroachments		
Front Porch	-	8'
Stoop	-	8'
Bay Window	-	4'
Awning	-	4'
Solar Screen	-	4'
Balcony/Balconette	-	4'
Rear Deck	-	8'

- design elements
- Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Wood and Simulated Clapboard or similar material
 - Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles or similar material
 - Roof types shall be gable, gambrel, mansard, hipped, salt box or combinations thereof
 - Exterior Chimneys shall be finished in Brick, Stone or Stucco
 - Chimney tops shall have decorative details
 - All rooftop equipment shall be screened from view

RC-3 OVERLAY TWIN WITH ALLEY

- Twins found in less dense areas of neighborhoods acting as a transition between flats/townhouses and single-family detached units
- A variety of unit sizes must be offered
- No front yard parking
- Vehicle access via alley
- On-street parking

PARKING

- | | <u>min</u> | <u>max</u> |
|-----------------------|------------|------------|
| • Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| • Alley Access Points | 2 | 3 |
| • On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through alley-loaded driveways and garages
 - On-Street parking provided through parallel stalls
 - Porous Pavement
 - Belgian Block Curbing

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| • Street Tree Spacing (Distance on Center) | 36' | 50' |
| • Planting Buffers | | |
| • Maximize uniqueness to street | | |
| • Custom Mailbox | | |

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

- | | <u>min</u> | <u>max</u> |
|--------------------|------------|------------|
| • Ratio (spots/du) | 1.5 | 2.5 |
| • Driveway Length | 20' | - |
| • Driveway Width | 8' | 12' |
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| • Front Yard Fence Height | - | 3' |
| • Front Yard Hedge Height | - | 3' |
| • Side and Rear Yard Fence Height | - | 6' |
| • Foundation Plantings | | |
| • Planting Buffers between Different Land Uses | | |
| • Parking Planting | | |
| • Screen Ground Mounted Utility Boxes | | |
| • Pergolas | | |
| • Trellises | | |
| • Arbors | | |

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded garage with windows and storage space
- Individual garage doors

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| • Pool and Deck Setback from Side and Rear Property Lines | 10' | - |
| • Patio Setback from Side and Rear Property Lines | 5' | - |
| • In-ground Pools are permitted | | |
| • Spas are only permitted on or within a rear deck | | |
| • Gutters shall be architecturally compatible with a building | | |

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| • Garage Height | 10' | 15' |
| • Garage Width | 14' | 24' |
| • Garage Depth | 25' | - |
| • Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RC-3 OVERLAY TWIN WITH ALLEY

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- Required offset at party wall with adjacent twin - 2 foot minimum
- Vertical breaks with window treatment, such as bays, projections and recesses are encouraged

Horizontal Breaks

- Material changes, horizontal banding, window lines and pediments are required
- Required number of breaks – one minimum

Roof Line

- Flat, gable, gambrel, mansard, hipped and salt box permitted
- Required break at party wall with adjacent twin – minimum two (2) foot offset

Building Materials

- Wood and simulated clapboard
- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Front porches are required with a minimum dimension of 8' x 10'
- Bay windows encouraged
- Rear decks are required at a minimum area of 160 square feet

Accessory Structures

- Free standing garages permitted
- Sheds are permitted at a maximum area of 120 square feet and height of 8 feet
- In-ground pools permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street

RC-3 OVERLAY TWIN WITH ALLEY

SEMI PUBLIC SPACE NOTES

- All yards must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Semi- public space must be separated from public space by either a low garden wall, decorative fence, hedge or combination of the three. Fences in front yards shall have a maximum height of 3 feet. Fences in side and rear yards shall have a maximum height of 6 feet high
- Bio swales and rain gardens permitted
- Usable open or covered stoops encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Spas are only permitted on or within a rear deck

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Maximum edge height for front yard – 3 feet
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailbox
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- Vehicle access from alley or secondary street only
- No parking in front yard

RC-3 OVERLAY SINGLE-FAMILY DETACHED WITH ALLEY

GOALS

To provide a mixture of unit sizes to address the needs and desires of seniors who wish to live in a walkable community with densities associated with single family detached units on small individual lots.

DEFINITION

A detached single dwelling unit on its own lot designed for or used exclusively by one family.

RC-3 OVERLAY SINGLE-FAMILY DETACHED WITH ALLEY

PHOTOS

The following examples best embody the purpose, goals and objectives of the single-family detached unit:

- Bays, vertical elements, window dimensions and window locations work together to break down the scale of an otherwise large house
- Special consideration to front door design
- Sensitive use of varied materials reduces monotony and helps provide a human scale



- Porches and terraces provide necessary eyes on the street and private outdoor space-appropriate public/private transition
- Durable materials stand the test of time
- Single family still functions very well with small front yard setbacks



- Where outlined in the zoning plan driveway access from streets is permitted
- Parking and garage locations limited to backyards only
- Porous pavement provides stormwater benefit

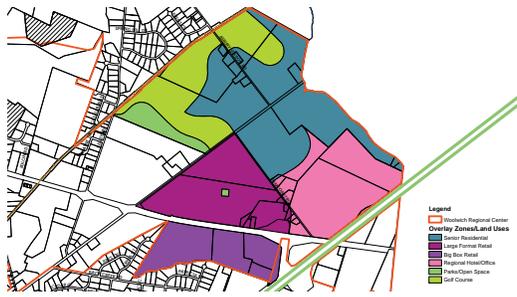


- Variety of architecture along street frontage provides personal identity and makes the journey for pedestrians more enjoyable
- Small gable ends facing the street help to reduce the scale of the house mass
- Horizontal banding helps reduce the perception of the vertical massing of the house



RC-3 OVERLAY SINGLE-FAMILY DETACHED WITH ALLEY

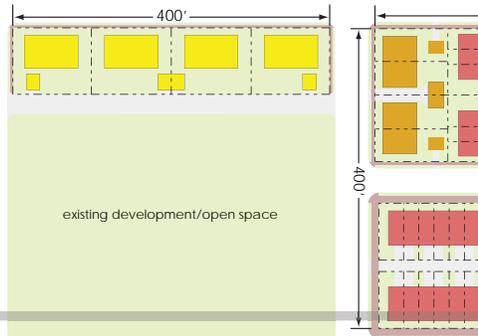
town scale



- Zoning Acreage - Subject to Woolwich Adult Settlement Agreement
- Maximum Number of Units - Subject to Woolwich Adult Settlement Agreement

ARCHITECTURE AND DESIGN

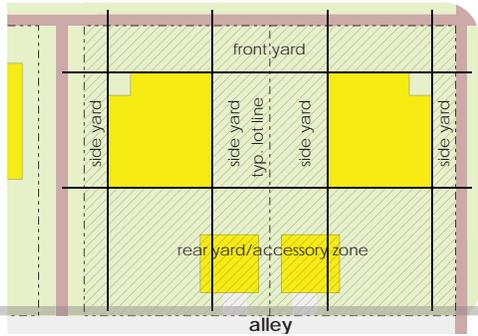
block scale



- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| • Block Length | 175' | 500' |
| • Block Perimeter | 1150' | 1800' |
| • Sidewalk Width | 5' | 10' |
| • Planting Strip Width | 4' | 10' |
| • Mid-block Crossings | | |
| Number per block | 1 | 3 |
| ROW width | 15' | 20' |
| Path width | 5' | 10' |
| • Decorative Street Lighting (Distance on Center) | 50' | 75' |

- design elements
- Contextual Neighborhood Consistency
 - Special Architectural Features at Corners
 - Public and Private Outdoor Spaces accessible and visible to the public

site scale



- | | <u>min</u> | <u>max</u> |
|---------------------------------------|------------|------------|
| • Lot Area | 5000 sf | 10000 sf |
| • Lot Width | 50' | 105' |
| Corner Lot | 50' | 105' |
| • Lot Depth | 90' | 115' |
| • Building Coverage | - | 50% |
| • Impervious Coverage | - | 60% |
| • Front Yard Setback | 15' | 15' |
| • Side Yard Setback | 5' | 15' |
| • Rear Yard Setback | 20' | - |
| • Accessory Structure Setbacks | | |
| Rear and Side Yard Principal Building | 2' | 5' |
| | 10' | - |

- design elements
- Vertical breaks encouraged
 - Material Change, Window Lines and Pediments required as Horizontal Breaks

public realm



- | | <u>min</u> | <u>max</u> |
|-------------------------------------|------------|------------|
| • Building Height | 30' | 45' |
| • First Floor Elevation | 3' | 8' |
| • Eave Height | 18' | 28' |
| • Window-to-Eave Offset | 6" | - |
| • Front Façade Fenestration | 30% | - |
| • Side and Rear Façade Fenestration | 20% | - |
| • Building Face or Roof Offset | 16" | - |
| • Window Trim Offset | 4" | - |

- design elements
- Dormers
 - Gables
 - Recessed Entries
 - Cupolas or Towers
 - Pillars or Posts
 - Bay Windows
 - Balconies
 - Decorative Cornices
 - First Floor Colonnade
 - Decorative Patterns on Exterior Finish
 - Front Porches
 - Porticoes

private realm



- | | <u>min</u> | <u>max</u> |
|--------------------------------|------------|------------|
| • First Story Clear Height | 10' | 15' |
| • Roof Pitch | - | 9/12 |
| • Front and Side Encroachments | | |
| Front Porch | - | 8' |
| Bay Window | - | 4' |
| Awning | - | 4' |
| Solar Screen | - | 4' |
| Balcony/Balconette | - | 4' |
| Rear Deck | - | 8' |

- design elements
- Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Wood and Simulated Clapboard or similar material
 - Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material
 - Roof types shall be gable, gambrel, mansard, hipped, salt box or combinations thereof
 - Exterior Chimneys shall be finished in Brick, Stone or Stucco
 - Chimney tops shall have decorative details
 - All rooftop equipment shall be screened from view

RC-3 OVERLAY SINGLE-FAMILY DETACHED WITH ALLEY

- Single-family dwellings are the lowest density typology
- Found as transition between the northern portion of the regional center and the adjacent residential environs
- A variety of unit sizes must be offered
- On-street parking
- Vehicle access via alley

PARKING

	<u>min</u>	<u>max</u>
Alley Width		
ROW	22'	25'
Cartway	18'	21'
Alley Access Points	2	3
On-Street Stalls		
Length	20'	-
Width	8'	-

- Off-street parking provided through alley-loaded driveways and garages
- On-Street parking provided through parallel stalls
- Porous Pavement
- Belgian Block Curbing

EDGES AND BUFFERS

	<u>min</u>	<u>max</u>
Street Tree Spacing (Distance on Center)	36'	50'
Planting Buffers		
• Maximize uniqueness to street		
• Custom Mailbox		

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

	<u>min</u>	<u>max</u>
Ratio (spots/du)	1.5	2.5
Driveway Length	20'	-
Driveway Width	8'	12'

- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

	<u>min</u>	<u>max</u>
Front Yard Fence Height	-	3'
Front Yard Hedge Height	-	3'
Side and Rear Yard Fence Height	-	6'

- Foundation Plantings
- Planting Buffers between Different Land Uses
- Parking Planting
- Screen Ground Mounted Utility Boxes
- Pergolas
- Trellises
- Arbors

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded garage with windows and storage space
- Individual garage doors

	<u>min</u>	<u>max</u>
Pool and Deck Setback from Side and Rear Property Lines	10'	-
Patio Setback from Side and Rear Property Lines	5'	-

- In-ground Pools are permitted
- Spas are only permitted on or within a rear deck
- Gutters shall be architecturally compatible with a building

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

	<u>min</u>	<u>max</u>
Garage Height	10'	15'
Garage Width	14'	24'
Garage Depth	25'	-
Garage Setback	20'	-

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

RC-3 OVERLAY SINGLE-FAMILY DETACHED WITH ALLEY

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid

Building Height

- Maximum building height shall be 35 feet or 2 ½ stories

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- Required

Horizontal Breaks

- Use of material change, window lines and pediments required

Roof Line

- Gable, gambrel, mansard, hipped and salt box permitted
- Maximum length of roofline - 40 feet

Building Materials

- Wood and simulated clapboard
- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Front porches are required with minimum dimensions of 8'x10'
- Rear decks are required at a minimum are of 160 square feet

Accessory Structures

- Free standing garages permitted
- Sheds permitted are permitted at a maximum are of 120 square feet and height of 8 feet
- In-ground pools permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Larger setback for units on Swedesboro-Paulsboro Road
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- All yards must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Front porches and walks encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Spas, saunas, and hot tubs are only permitted on or within a rear deck

RC-3 OVERLAY SINGLE-FAMILY DETACHED WITH ALLEY

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Maximum edge height for front yard – 3 feet
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailbox
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- No parking in front yard

RC-3 OVERLAY FLATS

GOALS

To provide apartment and condominium living to address the needs and desires of residents who wish to live in a dense, walkable community without the burden of land ownership.

DEFINITION

A building or portion thereof designed for occupancy by three or more families living independently in which they share common entrances and other spaces and individual units may be owned as condominiums or offered for rent.

RC-3 OVERLAY FLATS

PHOTOS

The following examples best embody the purpose, goals and objectives of the flat unit:

- Prominent architectural features at key corners provide visual reference points in the town fabric
- Terraces and balconies provide necessary outdoor space and an opportunity to modulate the scale of the architecture with vertical and horizontal breaks
- Small private green spaces provides public/private transition
- Cornice line serves as horizontal break
- First floor height differentiated from upper floor heights



- Large windows serve to provide scale to the building as well as interior light for units
- Bay windows provide design interest to street facade
- Balconies provide outdoor space for individual units while providing solar screen for lower level windows



- Flats reflect smaller family lifestyle choices
- Large areas of units are devoted to entertaining space
- Floor plans often emphasize the dramatic that takes advantage of town views
- Typical loft units



- Modern can coexist with traditional as long as well established rules of scale, rhythm and materials choice are respected
- Use of large windows and glass elements provides interest to street elevation
- Varying roof heights reduces the monotony of large buildings



RC-3 OVERLAY FLATS

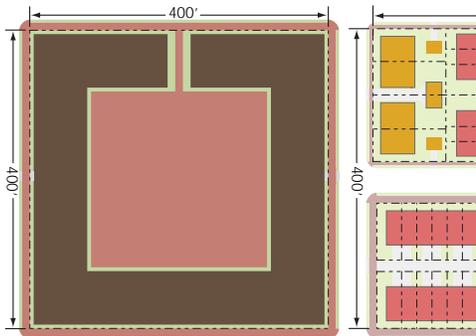
town scale



- Zoning Acreage - Subject to Woolwich Adult Settlement Agreement
- Maximum Number of Residential Flats - Subject to Woolwich Adult Settlement Agreement
- It is intended that a mix of housing types be provided

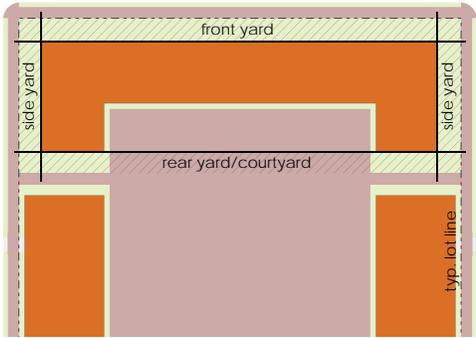
ARCHITECTURE AND DESIGN

block scale



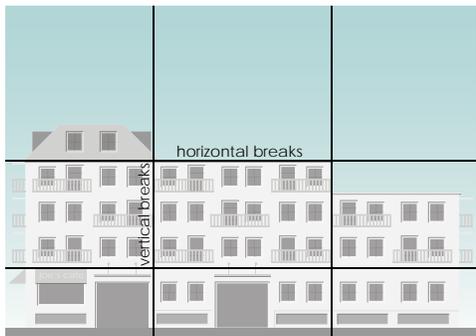
	<u>min</u>	<u>max</u>	<u>design elements</u>
• Block Length	300'	500'	• Contextual Neighborhood Consistency
• Block Perimeter	1400'	1800'	• Special Architectural Features at Corners
• Sidewalk Width	5'	10'	• Public and Private Outdoor Spaces accessible and visible to the public
• Planting Strip Width	4'	10'	• Plazas
• Mid-block Crossings			• Mid-block pedestrian connections to respond to street grid
Number per block	-	3	• Bus shelters
ROW width	20'	-	
Path width	10'	-	
• Decorative Street Lighting (Distance on Center)	50'	75'	

site scale



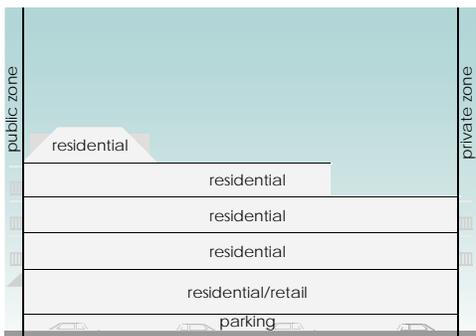
	<u>min</u>	<u>max</u>	<u>design elements</u>
• Lot Area	20000 sf	-	• Bike Racks
• Lot Width	100'	-	• Water Features/Fountains
Corner Lot	100'	-	• Decorative Pedestrian Lighting
• Lot Depth	150'	-	• Litter Containers
• Impervious Coverage	-	85%	• Architectural Lighting
• Front Yard Setback	10'	30'	• Benches
• Side Yard Setback	-	10'	• Clock Towers
• Rear Yard Setback	20'	-	• Kiosks
• Building Separation	20'	-	• Public Art

public realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	45'	60'	• Dormers
• Eave Height	24'	36'	• Gables
• Window-to-Eave Offset	2'	-	• Recessed Entries
• Upper Front Façade Fenestration	30%	-	• Cupolas or Towers
• Lower Front Façade Fenestration	60%	-	• Pillars or Posts
• Side and Rear Façade Fenestration	25%	-	• Bay Windows
• Building Face or Roof Offset	5'	-	• Balconies/Balconette
			• Decorative Cornices
			• First Floor Colonnade
			• Porte Cochères
			• Decorative Patterns on Exterior Finish
			• Porches
			• Porticoes
			• Arcades
			• Terraces

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	• Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco or similar material
• Roof Pitch	-	9/12	• Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material
• Front and Side Yard Encroachments			• Roof types shall be Flat, Mansard or combination thereof
Terraces	8'	-	• All rooftop equipment shall be screened from view
Patios	8'	10'	
Bay Window	-	8'	
Awning	-	8'	
Solar Screen	-	8'	
Balcony/Balconette	2'	8'	

RC-3 OVERLAY FLATS

- Buildings permitted to be a maximum of 60 feet tall or 5 stories for building longer than 150 feet.
- No front yard parking.
- All vehicle access via alleys or secondary streets.
- On-street parking where permitted in circulation plan.

PARKING

- | | <u>min</u> | <u>max</u> |
|---------------------|------------|------------|
| Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| Alley Access Points | 2 | 3 |
| On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through alley-loaded driveways and garages
 - On-Street parking provided through parallel stalls
 - Porous Pavement
 - Belgian Block Curbing

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Street Tree Spacing (Distance on Center) | 36' | 50' |
| Planting Buffers | | |
| Maximize uniqueness to street | | |
| Custom Mailbox | | |
| Tree Grates | | |

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| Ratio (spots/du) | 0.8 | 1.3 |
| Driveway Length | 20' | - |
| Driveway Width | 8' | 12' |
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Side and Rear Yard Fence Height | - | 6' |
| Foundation Plantings | | |
| Planting Buffers between Different Land Uses | | |
| Parking Planting | | |
| Screen Ground Mounted Utility Boxes | | |
| Planters | | |
| Potted Plants | | |

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded garage with windows and storage space
- Individual garage doors
- Carports
- Structured Parking

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| Patio Setback from Side and Rear Property Lines | 5' | - |
| Pools and spas are not permitted | | |
| Gutters shall be architecturally compatible with a building | | |

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|----------------|------------|------------|
| Garage Height | 10' | 15' |
| Garage Width | 14' | 24' |
| Garage Depth | 25' | - |
| Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Structured parking shall have a maximum height of 2 levels.

RR-BD FLATS

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 60 feet. For buildings with facades exceeding 100 feet a maximum average building height of 55 feet shall be permitted measured along the affected façade.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on upper front façade – 30%
- Minimum area of window opening on front retail – 60%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of window opening on side and rear facades – 25%

Vertical Breaks

- Required every 30 feet minimum through use of offsets, fenestration, bay windows, balconies, balconettes or material change requires minimum one foot offset

Horizontal Breaks

- Required at a minimum of one (1) per every 24 feet of vertical height
- May use banding, setbacks or material change

Roof Line

- Flat and mansard permitted
- Maximum length of roofline – 60 feet
- Minimum offset – 5 feet

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Prominent front entry feature required
- Balconies, balconettes, terrace and/or patio are required at one per unit
- Bay windows encouraged

Accessory Structures

- Structured parking is permitted
- Free standing garage is permitted
- Carports are permitted

PUBLIC SPACE NOTES

- Front of buildings setback from public sidewalks
- Entry plazas and courts should be designed to welcome public use
- Front doors or doors to common lobbies should be grand in scale and largely transparent to public space through the use of glass walls and doors
- Canopies, awnings and overhangs are encouraged on the first floor with emphasis on the front doors
- Screening of loading, service and trash storage areas are required

Mixed use Commercial/Residential walkable neighborhood center (AR-1)



Contents

- Townhouse
- Twin with Alley
- Single-Family Detached with Alley
- Auburn Village Retail

AR-1 TOWNHOUSE

GOALS

To provide a mixture of unit sizes to address the needs and desires of those at various stages of life who wish to live in densities associated with townhouse living.

DEFINITION

A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement, being located on a separate lot, and being separated from adjoining dwelling unit by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation

ZONING MAP



AR-1 TOWNHOUSE

PHOTOS

The following examples best embody the purpose, goals and objectives of the townhouse unit:

- Bay windows work to provide street rhythm and to breakdown the horizontal scale
- Small private front yard planting softens street environment
- Windows on side façade enliven corner buildings
- Stoop provides public/private transition
- Front door accentuated in scale
- Durable materials stand up to the test of time



- On a case by case basis townhouses may be arranged in a courtyard configuration with front doors and garages facing a landscaped parking/multi-purpose court
- Modern can coexist with traditional as long as well established roles of rhythm, scale and material choice are respected
- Low garden walls define courtyard edge
- High quality landscaping and surface materials such as pavers required in courtyard



- Slight variations in dormer design reduces monotony in otherwise identical units
- Low front yard garden walls provide appropriate public/private transition
- Large mansard roof element accentuates horizontal break to respect human scale at sidewalk level
- Generous windows on front façade provides internal light while animating street and promoting safety
- Roof gardens and decks provide necessary outdoor private space



- Vertical and horizontal architectural offsets and material changes reinforce human scale at street level
- Windows turning corner of building acknowledges special location at street intersection
- Solar screens provided reduces unit energy loads and provides horizontal break
- Variations in window dimensions provide interest to the street and address scale and rhythm issues



AR-1 TOWNHOUSE

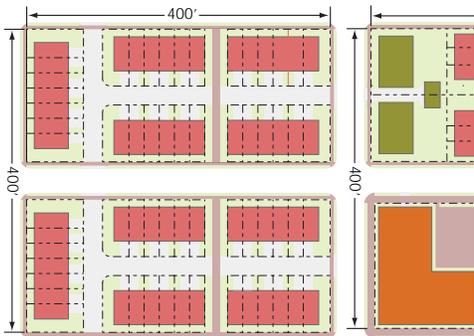
town scale



- Zoning Acreage - xxx
- Maximum Number of Units - 210 d.u.
- Densities - See TDR Market Analysis

ARCHITECTURE AND DESIGN

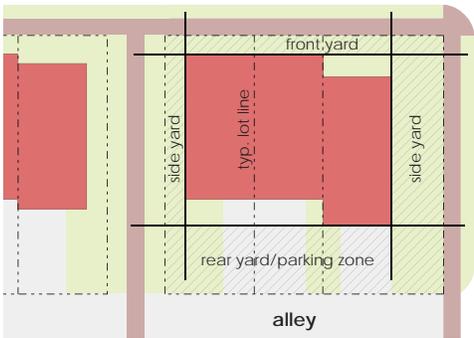
block scale



	<u>min</u>	<u>max</u>
• Block Length	175'	500'
• Block Perimeter	1150'	1800'
• Sidewalk Width	5'	10'
• Planting Strip Width	4'	10'
• Mid-block Crossings		
Number per block	1	3
ROW width	15'	20'
Path width	5'	10'
• Decorative Street Lighting (Distance on Center)	50'	75'

- design elements
- Contextual Neighborhood Consistency
 - Special Architectural Features at Corners
 - Public and Private Outdoor Spaces accessible and visible to the public

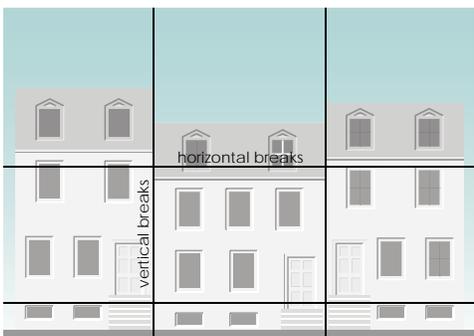
site scale



	<u>min</u>	<u>max</u>
• Lot Area	1500 sf	2625 sf
• Lot Width	20'	30'
Corner Lot	20'	35'
• Lot Depth	-	75'
• Building Coverage	-	60%
• Impervious Coverage	-	80%
• Front Yard Setback	5'	15'
• Side Yard Setback	0'	15'
• Rear Yard Setback	20'	-

- design elements
- No more than 8 units built in a row
 - Provide common mid-block crossing through building to rear alley if 8 units are built

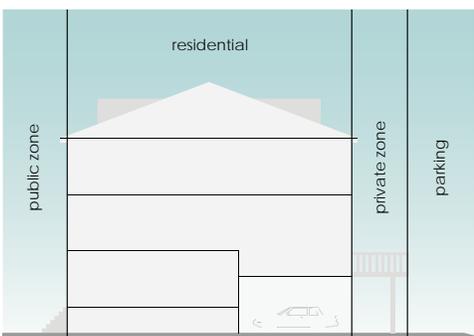
public realm



	<u>min</u>	<u>max</u>
• Building Height	30'	45'
• First Floor Elevation	2'	5'
• Eave Height	24'	36'
• Window-to-Eave Offset	1'	-
• Front Façade Fenestration	30%	-
• Side and Rear Façade Fenestration	20%	-
• Building Face or Roof Offset	2'	-

- design elements
- Dormers
 - Gables
 - Recessed Entries
 - Cupolas or Towers
 - Pillars or Posts
 - Bay Windows
 - Balconies/Balconettes
 - Decorative Cornices
 - First Floor Colonnade
 - Decorative Patterns on Exterior Finish
 - Usable Open or Covered Stoops
 - Porticoes

private realm



	<u>min</u>	<u>max</u>
• First Story Clear Height	10'	15'
• Roof Pitch	-	9/12
• Front and Side Encroachments		
Stoop	-	8'
Bay Window	-	4'
Awning	-	4'
Solar Screen	-	4'
Balcony/Balconette	-	4'
Rear Deck	-	8'

- design elements
- Building walls shall be Brick, Stone, Stucco or similar material
 - Synthetic Trim Board
 - Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material
 - Roof types shall be flat, gable, gambrel, mansard, hipped, salt box or combinations thereof
 - Exterior Chimneys shall be finished in Brick, Stone or Stucco
 - Chimney tops shall have decorative details
 - All rooftop equipment shall be screened from view

AR-1 TOWNHOUSE

- Townhouses are encouraged to provide architectural edges to open space
- A variety of unit sizes must be offered
- No front yard parking
- All vehicle access via alleys
- On-street parking

PARKING

	<u>min</u>	<u>max</u>
Alley Width		
ROW	22'	25'
Cartway	18'	21'
Alley Access Points	2	3
On-Street Stalls		
Length	20'	-
Width	8'	-

- Off-street parking provided through alley-loaded driveways and garages
- On-Street parking provided through parallel stalls
- Porous Pavement
- Belgian Block Curbing

EDGES AND BUFFERS

	<u>min</u>	<u>max</u>
Street Tree Spacing (Distance on Center)	36'	50'
Planting Buffers		
• Maximize uniqueness to street		
• Custom Mailbox		

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

	<u>min</u>	<u>max</u>
Ratio (spots/du)	2.5	-
Driveway Length	20'	-
Driveway Width	8'	12'

- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

	<u>min</u>	<u>max</u>
Front Yard Hedge Height	-	3'
Side and Rear Yard Fence Height	-	6'
Foundation Plantings		
• Planting Buffers between Different Land Uses		
• Parking Planting		
• Screen Ground Mounted Utility Boxes		
• Pergolas		
• Trellises		
• Arbors		

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded attached garage with windows and storage space
- Individual garage doors

	<u>min</u>	<u>max</u>
Deck Setback from Side and Rear Property Lines	10'	-
Patio Setback from Side and Rear Property Lines	5'	-
• Pools are not permitted		
• Spas are only permitted on or within a rear deck		
• Gutters shall be architecturally compatible with a building		

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

	<u>min</u>	<u>max</u>
Garage Height	10'	15'
Garage Width	14'	24'
Garage Depth	25'	-
Garage Setback	20'	-

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

AR-1 TOWNHOUSE

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- 2 foot building offsets every 60 feet minimum

Horizontal Breaks

- Material changes, horizontal banding, window lines and pediments are required
- A minimum of one (1) break is required

Roof Line

- Flat, gable, gambrel, mansard, hipped and salt box permitted
- A minimum two (2) foot offset is required every 60 feet for multiple units

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Stoops required
- Balconies encouraged
- Decks are required at a minimum area of 160 square feet

Accessory Structures

- None

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- Front of building (i.e. yards) must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Front stoops encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Pools are not permitted
- Spas are only permitted on or within a rear deck

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Walls, fences, hedges in front yards are prohibited
- Maximum edge height for side yards - six (6) feet

AR-1 TOWNHOUSE

- Maximum edge height for rear yards – six (6) feet

AMENITY NOTES

- Custom mailboxes
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- Vehicle access from alley only
- No parking in front yard

AR-1 TWIN WITH ALLEY

GOALS

To provide a mixture of unit sizes to address the needs and desires of those at various stages of life who wish to live in densities associated with twin living.

DEFINITION

A one-family dwelling unit; with a private entrance, attached horizontally in a linear arrangement to one other dwelling unit, each located on a separate lot, and being separated from each other by an approved wall extending from the foundation through the roof and structurally independent of the corresponding wall of the adjoining unit and having a totally exposed front and rear wall to be used for access light and ventilation.

ZONING MAP



AR-1 TWIN WITH ALLEY

PHOTOS

The following examples best embody the purpose, goals and objectives of the twinhouse unit:

- Front porches provide entry features and a sitting area to converse and interact with passers-by
- Roof offsets combined with porches help to provide appropriate scale and rhythm
- Small front yards provide adequate privacy



- Modern can coexist with traditional as long as well established rules of rhythm, scale and material choice are respected
- Generous window dimensions animate the façade and help provide appropriate vertical and horizontal scale and rhythm
- Two foot vertical offsets conform to rules of vertical offsets
- Garden wall and front garden serve as public/private transition
- Material change provides vertical breaks



- When appropriately scaled, twins can serve as transition units between townhouses and single family detached units
- Twins need not be identical
- First and second floor porches and terraces provide necessary eyes on the street and private outdoor space



- Simple architecture following basic rules can be attractive
- Wrap around porch can add unique architectural element
- Low front yard fence provides appropriate public/private transition
- Water table element provides horizontal offset



AR-1 TWIN WITH ALLEY

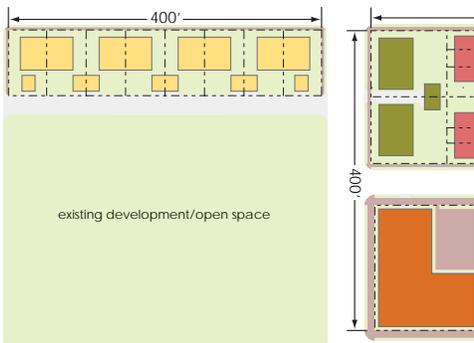
town scale



- Zoning Acreage - xxx
- Maximum Number of Units - 162 d.u.
- Densities - See TDR Market Analysis

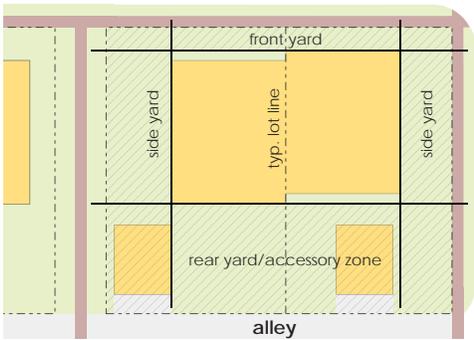
ARCHITECTURE AND DESIGN

block scale



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Block Length	175'	500'	• Contextual Neighborhood Consistency
• Block Perimeter	1150'	1850'	
• Sidewalk Width	5'	10'	
• Planting Strip Width	4'	10'	• Special Architectural Features at Corners
• Mid-block Crossings			
Number per block	1	3	• Public and Private Outdoor Spaces accessible and visible to the public
ROW width	15'	20'	
Path width	5'	10'	
• Decorative Street Lighting (Distance on Center)	50'	75'	

site scale



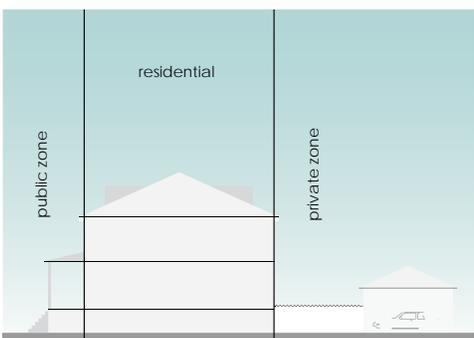
	<u>min</u>	<u>max</u>	<u>design elements</u>
• Lot Area	3000 sf	6250 sf	• Required break at party wall with adjacent twin
• Lot Width	40'	-	
Corner Lot	40'	-	• Vertical breaks with window treatment encouraged - bays, projections or recesses
• Lot Depth	75'	125'	
• Building Coverage	-	60%	
• Impervious Coverage	-	80%	
• Front Yard Setback	15'	30'	
• Side Yard Setback	10'	15'	
• Rear Yard Setback	20'	-	
• Accessory Structure Setbacks			
Rear and Side Yard	2'	5'	
Principal Building	10'	-	

public realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	30'	45'	• Dormers
• First Floor Elevation	2'	5'	
• Eave Height	24'	36'	• Gables
• Window-to-Eave Offset	1'	-	
• Front Façade Fenestration	30%	-	• Recessed Entries
• Side and Rear Façade Fenestration	20%	-	
• Building Face or Roof Offset	2'	-	• Cupolas or Towers
			• Pillars or Posts
			• Bay Windows
			• Balconies/Balconettes
			• Decorative Cornices
			• First Floor Colonnade
			• Decorative Patterns on Exterior Finish
			• Front Porches
			• Usable Open or Covered Stoops
			• Porticoes

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	• Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Wood and Simulated Clapboard or similar material
• Roof Pitch	-	9/12	
• Front and Side Encroachments			• Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles or similar material
Front Porch	-	8'	
Stoop	-	8'	• Roof types shall be gable, gambrel, mansard, hipped, salt box or combinations thereof
Bay Window	-	4'	
Awning	-	4'	• Exterior Chimneys shall be finished in Brick, Stone or Stucco
Solar Screen	-	4'	
Balcony/Balconette	-	4'	• Chimney tops shall have decorative details
Rear Deck	-	8'	
			• All rooftop equipment shall be screened from view

- Twins found in less dense areas of neighborhoods acting as a transition between flats/townhouses and single-family detached units
- A variety of unit sizes must be offered
- No front yard parking
- Vehicle access via alley
- On-street parking

PARKING

EDGES AND BUFFERS

ENVIRONMENT

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
• Alley Width			• Street Tree Spacing (Distance on Center)	36'	50'	• Porous Pavement and Rain Gardens encouraged for on-street parking lanes
ROW	22'	25'				
Cartway	18'	21'				
• Alley Access Points	2	3	• Planting Buffers			• Deciduous Street Trees encouraged to lower summer cooling load
• On-Street Stalls			• Maximize uniqueness to street			
Length	20'	-	• Custom Mailbox			• Trees to modulate microclimate
Width	8'	-				
• Off-street parking provided through alley-loaded driveways and garages						
• On-Street parking provided through parallel stalls						
• Porous Pavement						
• Belgian Block Curbing						

	<u>min</u>	<u>max</u>		<u>min</u>	<u>max</u>	
• Ratio (spots/du)	1.5	2.5	• Front Yard Fence Height	-	3'	• Long-life trees encouraged to maximize green infrastructure funds
• Driveway Length	20'	-	• Front Yard Hedge Height	-	3'	
• Driveway Width	8'	12'	• Side and Rear Yard Fence Height	-	6'	• Xeriscape
• Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement			• Foundation Plantings			• Non-exotic, non-invasive species encouraged to minimize water needs
			• Planting Buffers between Different Land Uses			• Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.
			• Parking Planting			
			• Screen Ground Mounted Utility Boxes			
			• Pergolas			
			• Trellises			
			• Arbors			

				<u>min</u>	<u>max</u>	
• Rear-loaded garage with windows and storage space			• Pool and Deck Setback from Side and Rear Property Lines	10'	-	• North-South Building Orientation
• Individual garage doors			• Patio Setback from Side and Rear Property Lines	5'	-	
			• In-ground Pools are permitted			• Solar Screen
			• Spas are only permitted on or within a rear deck			
			• Gutters shall be architecturally compatible with a building			
						• Solar Panel
						• Discharge spouts shall have splash parts or be discharged underground

	<u>min</u>	<u>max</u>				
• Garage Height	10'	15'	• Window Boxes			• Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.
• Garage Width	14'	24'	• Espaliers			
• Garage Depth	25'	-	• Roof Decks/Gardens			
• Garage Setback	20'	-	• Green Roofs			
			• Garden Walls may be Brick, Stone or Stucco to match the principal building			
			• Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.			
			• All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).			

AR-1 TWIN WITH ALLEY

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street.
- At least 50 percent of a buildings front façade must be built to the minimum setback line.
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid.

Building Height

- Maximum building height shall be 45 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- Required offset at party wall with adjacent twin - 2 foot minimum
- Vertical breaks with window treatment, such as bays, projections and recesses are encouraged

Horizontal Breaks

- Material changes, horizontal banding, window lines and pediments are required
- Required number of breaks – one minimum

Roof Line

- Flat, gable, gambrel, mansard, hipped and salt box permitted
- Required break at party wall with adjacent twin – minimum two (2) foot offset

Building Materials

- Wood and simulated clapboard
- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Front porches are required with a minimum dimension of 8' x 10'
- Bay windows encouraged
- Rear decks are required at a minimum area of 160 square feet

Accessory Structures

- Free standing garages permitted
- Sheds are permitted at a maximum area of 120 square feet and height of 8 feet
- In-ground pools permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- All yards must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Semi- public space must be separated from public space by either a low garden wall, decorative fence, hedge or combination of the three. Fences in front yards shall have a maximum height of 3 feet. Fences in side and rear yards shall have a maximum height of 6 feet high
- Bio swales and rain gardens permitted
- Usable open or covered stoops encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Spas are only permitted on or within a rear deck

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Maximum edge height for front yard – 3 feet
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailbox
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- Vehicle access from alley or secondary street only
- No parking in front yard

AR-1 SINGLE-FAMILY DETACHED WITH ALLEY

GOALS

To provide a mixture of unit sizes to address the needs and desires of those at various stages of life who wish to live in a walkable community with densities associated with single family detached units on small individual lots.

DEFINITION

A detached single dwelling unit on its own lot designed for or used exclusively by one family.

ZONING MAP



AR-1 SINGLE-FAMILY DETACHED WITH ALLEY

PHOTOS

The following examples best embody the purpose, goals and objectives of the single-family detached unit:

- Bays, vertical elements, window dimensions and window locations work together to break down the scale of an otherwise large house
- Special consideration to front door design
- Sensitive use of varied materials reduces monotony and helps provide a human scale



- Porches and terraces provide necessary eyes on the street and private outdoor space-appropriate public/private transition
- Durable materials stand the test of time
- Single family still functions very well with small front yard setbacks



- Where outlined in the zoning plan driveway access from streets is permitted
- Parking and garage locations limited to backyards only
- Porous pavement provides stormwater benefit



- Variety of architecture along street frontage provides personal identity and makes the journey for pedestrians more enjoyable
- Small gable ends facing the street help to reduce the scale of the house mass
- Horizontal banding helps reduce the perception of the vertical massing of the house



AR-1 SINGLE-FAMILY DETACHED WITH ALLEY

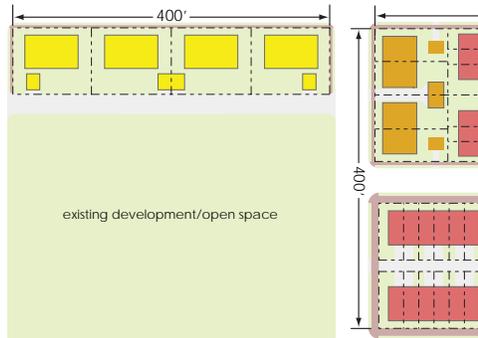
town scale



- Zone Area - xxx acres
- Maximum Number of Residential Units - 130 d.u.
- Densities - See TDR Market Analysis

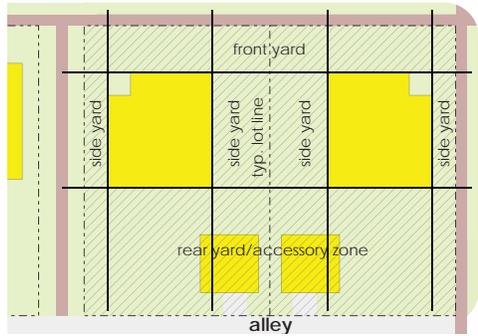
ARCHITECTURE AND DESIGN

block scale



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|---|------------|------------|--|
| • Block Length | 175' | 500' | • Contextual Neighborhood Consistency |
| • Block Perimeter | 1150' | 1800' | |
| • Sidewalk Width | 5' | 10' | • Special Architectural Features at Corners |
| • Planting Strip Width | 4' | 10' | |
| • Mid-block Crossings | | | • Public and Private Outdoor Spaces accessible and visible to the public |
| Number per block | 1 | 3 | |
| ROW width | 15' | 20' | |
| Path width | 5' | 10' | |
| • Decorative Street Lighting (Distance on Center) | 50' | 75' | |

site scale



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|--------------------------------|------------|------------|---|
| • Lot Area | 11000 sf | 13000 sf | • Vertical breaks encouraged |
| • Lot Width | 70' | 105' | |
| Corner Lot | 70' | 105' | • Material Change, Window Lines and Pediments required as Horizontal Breaks |
| • Lot Depth | 125' | 175' | |
| • Building Coverage | - | 50% | |
| • Impervious Coverage | - | 60% | |
| • Front Yard Setback | 20' | 15' | |
| • Side Yard Setback | 5' | 15' | |
| • Rear Yard Setback | 20' | - | |
| • Accessory Structure Setbacks | | | |
| Rear and Side Yard | 2' | 5' | |
| Principal Building | 10' | - | |

public realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|-------------------------------------|------------|------------|--|
| • Building Height | 30' | 45' | • Dormers |
| • First Floor Elevation | 3' | 8' | |
| • Eave Height | 18' | 28' | • Gables |
| • Window-to-Eave Offset | 6" | - | |
| • Front Façade Fenestration | 30% | - | • Recessed Entries |
| • Side and Rear Façade Fenestration | 20% | - | |
| • Building Face or Roof Offset | 16" | - | • Cupolas or Towers |
| • Window Trim Offset | 4" | - | |
| | | | • Pillars or Posts |
| | | | |
| | | | • Bay Windows |
| | | | |
| | | | • Balconies |
| | | | |
| | | | • Decorative Cornices |
| | | | |
| | | | • First Floor Colonnade |
| | | | |
| | | | • Decorative Patterns on Exterior Finish |
| | | | |
| | | | • Front Porches |
| | | | |
| | | | • Porticoes |

private realm



- | | <u>min</u> | <u>max</u> | <u>design elements</u> |
|--------------------------------|------------|------------|--|
| • First Story Clear Height | 10' | 15' | • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, Wood and Simulated Clapboard or similar material |
| • Roof Pitch | - | 9/12 | |
| • Front and Side Encroachments | | | • Roof materials shall be Clad in Cedar Wood Shingles, Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material |
| Front Porch | - | 8' | |
| Bay Window | - | 4' | • Roof types shall be gable, gambrel, mansard, hipped, salt box or combinations thereof |
| Awning | - | 4' | |
| Solar Screen | - | 4' | • Exterior Chimneys shall be finished in Brick, Stone or Stucco |
| Balcony/Balconette | - | 4' | |
| Rear Deck | - | 8' | • Chimney tops shall have decorative details |
| | | | |
| | | | • All rooftop equipment shall be screened from view |

AR-1 SINGLE-FAMILY DETACHED WITH ALLEY

- Single-family dwellings are the lowest density typology
- A variety of unit sizes must be offered
- On-street parking permitted
- Vehicle access via alley

PARKING

- | | <u>min</u> | <u>max</u> |
|---------------------|------------|------------|
| Alley Width | | |
| ROW | 22' | 25' |
| Cartway | 18' | 21' |
| Alley Access Points | 2 | 3 |
| On-Street Stalls | | |
| Length | 20' | - |
| Width | 8' | - |
- Off-street parking provided through alley-loaded driveways and garages
 - On-Street parking provided through parallel stalls
 - Porous Pavement
 - Belgian Block Curbing

EDGES AND BUFFERS

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Street Tree Spacing (Distance on Center) | 36' | 50' |
| Planting Buffers | | |
| • Maximize uniqueness to street | | |
| • Custom Mailbox | | |
| Front Yard Fence Height | - | 3' |
| Front Yard Hedge Height | - | 3' |
| Side and Rear Yard Fence Height | - | 6' |
| Foundation Plantings | | |
| • Planting Buffers between Different Land Uses | | |
| • Parking Planting | | |
| • Screen Ground Mounted Utility Boxes | | |
| • Pergolas | | |
| • Trellises | | |
| • Arbors | | |

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate

- | | <u>min</u> | <u>max</u> |
|------------------|------------|------------|
| Ratio (spots/du) | 1.5 | 2.5 |
| Driveway Length | 20' | - |
| Driveway Width | 8' | 12' |
- Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement

- | | <u>min</u> | <u>max</u> |
|--|------------|------------|
| Front Yard Fence Height | - | 3' |
| Front Yard Hedge Height | - | 3' |
| Side and Rear Yard Fence Height | - | 6' |
| Foundation Plantings | | |
| • Planting Buffers between Different Land Uses | | |
| • Parking Planting | | |
| • Screen Ground Mounted Utility Boxes | | |
| • Pergolas | | |
| • Trellises | | |
| • Arbors | | |

- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Rear-loaded garage with windows and storage space
- Individual garage doors

- | | <u>min</u> | <u>max</u> |
|---|------------|------------|
| Pool and Deck Setback from Side and Rear Property Lines | 10' | - |
| Patio Setback from Side and Rear Property Lines | 5' | - |
| In-ground Pools are permitted | | |
| Spas are only permitted on or within a rear deck | | |
| Gutters shall be architecturally compatible with a building | | |

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- | | <u>min</u> | <u>max</u> |
|----------------|------------|------------|
| Garage Height | 10' | 15' |
| Garage Width | 14' | 24' |
| Garage Depth | 25' | - |
| Garage Setback | 20' | - |

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

AR-1 SINGLE-FAMILY DETACHED WITH ALLEY

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front door required on public street
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid

Building Height

- Maximum building height shall be 35 feet or 2 ½ stories

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on front facades – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows on side and rear facades – 20%

Vertical Breaks

- Required

Horizontal Breaks

- Use of material change, window lines and pediments required

Roof Line

- Gable, gambrel, mansard, hipped and salt box permitted
- Maximum length of roofline - 40 feet

Building Materials

- Wood and simulated clapboard
- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt roof shingles
- Raised seam metal roof
- Tiles
- Slate
- Cedar Wood

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Front porches are required with minimum dimensions of 8' x10'
- Rear decks are required at a minimum are of 160 square feet

Accessory Structures

- Free standing garages permitted
- Sheds permitted are permitted at a maximum are of 120 square feet and height of 8 feet
- In-ground pools permitted

PUBLIC SPACE NOTES

- Front of building setback from sidewalk
- Larger setback for units on Swedesboro-Paulsboro Road
- Front doors on public street

SEMI PUBLIC SPACE NOTES

- All yards must be fully appointed with landscaping of trees, shrubs, ornamental grasses or groundcover
- Bio swales and rain gardens permitted
- Front porches and walks encouraged as public space transition

PRIVATE SPACE NOTES

- Pergolas, trellises and arbors permitted
- Spas are only permitted on or within a rear deck

AR-1 SINGLE-FAMILY DETACHED WITH ALLEY

EDGES, BUFFERS & TRANSITIONS NOTES

- Edge treatments may include walls, fences, hedges
- Maximum edge height for front yard – 3 feet
- Maximum edge height for side yards – 6 feet
- Maximum edge height for rear yard – 6 feet

AMENITY NOTES

- Custom mailbox
- Foundation plantings required
- On-lot sidewalks

PARKING AMENITIES/ACCESS NOTES

- Porous pavement driveways permitted
- No parking in front yard

AUBURN VILLAGE RETAIL

GOALS

To provide mixed use commercial buildings that allow for retail and/or office space in individual or attached buildings.

DEFINITION

A building that contains either retail uses on ground floor levels and office on upper levels or buildings that solely contain office space – either multiple or single tenants.

ZONING MAP



PHOTOS

The following examples best embody the purpose, goals and objectives of the Auburn Village retail unit:

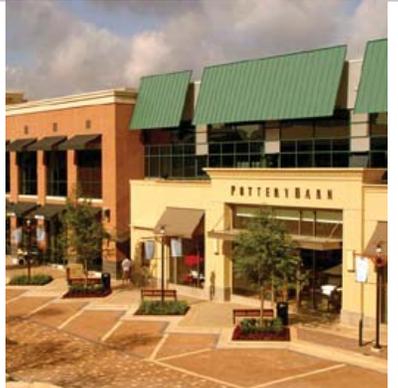
- Recessed store fronts provide architectural interest and solar screening.
- Second story office space is acceptable. It provides opportunity to meet local needs as well as a legitimizing the design of 2 story architecture. Fake second stories are not encouraged. Clear stories are acceptable.
- Small raised seating platform serves as local outdoor meeting place and opportunity for a village café.



- Single story retail is acceptable. Windows in the second floor are acceptable if they serve a purpose such as a "clear story".
- Store fronts should be individualized and a 25 foot to 35 foot store front rhythm respected to match the village scale.
- Architecture should be designed with the intent of providing logical locations for façade signage.



- Side and rear yard parking courts are permitted. Store fronts may face directly onto parking courts.
- Parking courts should be kept to a small scale and should use pavement patterns to signify that the space is shared by both pedestrians and automobiles.



- Awnings and arbors provide architectural interest plus provide shade for users.
- Free standing buildings are acceptable. They can be joined to other buildings by means of arbors, pergolas and arcades.



AUBURN VILLAGE RETAIL

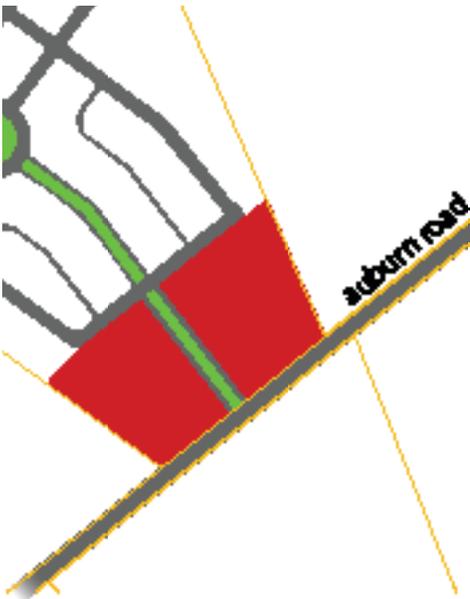
town scale



- Zone Acreage - 6.0 acres
- FAR - 0.2 or approximately 50,000 s.f.
- Density - See **TDR Market Analysis**

ARCHITECTURE AND DESIGN

site scale



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Block Length	250'	500'	<ul style="list-style-type: none"> • Contextual Neighborhood Consistency • Special Architectural Features at Corners • Public and Private Outdoor Spaces Accessible and Visible to Public • Plazas • Mid-block Pedestrian Connections to respond to Grid • Bus Shelters • Bike Racks • Water Features/Fountains • Decorative Pedestrian Lighting • Litter Containers • Architectural Lighting • Benches • Clock Towers • Kiosks • Public Art
• Block Perimeter	1000'	2000'	
• Sidewalk Width	5'	10'	
• Planting Strip Width	4'	10'	
• Mid-block Crossings			
Number per block	1	3	
ROW width	15'	20'	
Path width	5'	10'	
• Decorative Street Lighting (Distance on Center)	50'	75'	
• Lot Area	20000 sf	-	
• Lot Width	100'	-	
Corner Lot	100'	-	
• Lot Depth	150'	-	
• Impervious Coverage	-	90%	
• Front Yard Setback	10'	30'	
• Side Yard Setback	-	10'	
• Rear Yard Setback	20'	-	
• Building Separation	20'	-	

public realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• Building Height	20'	45'	<ul style="list-style-type: none"> • Dormers • Gables • Recessed Entries • Cupolas or Towers • Pillars or Posts • Bay Windows • Decorative Cornices • First Floor Colonnade • Porte Cocheres • Decorative Patterns on Exterior Finish • Porches • Porticoes • Arcades • Terraces
• Eave Height	18'	40'	
• Window-to-Eave Offset	6"	-	
• Upper Front Façade Fenestration	30%	-	
• Lower Front Façade Fenestration	70%	-	
• Side and Rear Façade Fenestration	25%	-	
• Building Face or Roof Offset	5'	-	

private realm



	<u>min</u>	<u>max</u>	<u>design elements</u>
• First Story Clear Height	10'	15'	<ul style="list-style-type: none"> • Building walls shall be Brick, Stone, Synthetic Trim Board, Stucco, or similar material • Roof materials shall be Raised Seam Metal, Slate, Architectural Asphalt Shingles, Tiles or similar material • Roof types shall be Flat, Mansard or combinations thereof. • All rooftop equipment shall be screened from view
• Roof Pitch	-	9/12	
• Front and Side Encroachments			
Bay Window	-	8'	
Awning	-	8'	
Solar Screen	-	8'	
Balcony/Balconette	-	8'	
Rear Deck	-	8'	
Terrace	8'	-	
Patio	8'	10'	

AR-1 SINGLE-FAMILY DETACHED WITH ALLEY

PARKING

	<u>min</u>	<u>max</u>
• Alley Width		
ROW	22'	25'
Cartway	18'	21'
• Alley Access Points	2	3
• On-Street Stalls		
Length	20'	-
Width	8'	-
• Ratio (spots/du)	0.8	1.3
• Driveway Length	20'	-
• Driveway Width	8'	12'
• Off-street parking provided through alley-loaded driveways		
• On-Street parking provided through parallel stalls		
• Porous Pavement		
• Belgian Block Curbing		
• Driveways shall be constructed of Colored Asphalt, Scored Concrete, Decorative Paving Blocks or Porous Pavement		
• Non-residential parking to be provided at a ratio of 4 spots per 1000 square feet		
• Shared parking conditionally permitted		

EDGES AND BUFFERS

	<u>min</u>	<u>max</u>
• Street Tree Spacing (Distance on Center)	36'	50'
• Side and Rear Yard Fence Height	-	6'
• Planting Buffers		
• Maximize uniqueness to street		
• Custom Mailbox		
• Tree Grates		
• Foundation Plantings		
• Planting Buffers between Different Land Uses		
• Parking Planting		
• Screen Ground Mounted Utility Boxes		
• Planters		
• Potted Plants		

ENVIRONMENT

- Porous Pavement and Rain Gardens encouraged for on-street parking lanes
- Deciduous Street Trees encouraged to lower summer cooling load
- Trees to modulate microclimate
- Long-life trees encouraged to maximize green infrastructure funds
- Xeriscape
- Non-exotic, non-invasive species encouraged to minimize water needs
- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

- Carports
- Structured Parking

	<u>min</u>	<u>max</u>
• Patio Setback from Side and Rear Property Lines	5'	-
• Gutters shall be architecturally compatible with a building		

- North-South Building Orientation
- Solar Screen
- Solar Panel
- Discharge spouts shall have splash parts or be discharged underground

- Structured parking shall have a maximum height of 2 levels.

- Window Boxes
- Espaliers
- Roof Decks/Gardens
- Green Roofs
- Garden Walls may be Brick, Stone or Stucco to match the principal building
- Side and Rear Yard Fences may be Wood Picket, Wrought Iron or materials similar appearance and durability.
- All Side and Rear Yard Fences over 4 feet in height shall be Wood or similar material (shadow box design).

- Bio-swales, Cisterns, Rain Gardens, and Porous Pavement Driveway Material encouraged to aid in reducing stormwater runoff.

AUBURN VILLAGE RETAIL

ARCHITECTURAL NOTES

Building Orientation

- Buildings shall be oriented to the street with primary pedestrian access points directly accessing the street façade. Front doors to upper floor use permitted on secondary facade
- At least 50 percent of a buildings front façade must be built to the minimum setback line
- Buildings shall be oriented to maximize winter solar gain, consistent with the north/south orthogonal grid
- Buildings should be built to the sidewalk, public square or plaza edge.

Building Height

- Maximum building height shall be 45 feet.

Fenestration

- No blank facades or walls permitted
- Minimum area of window opening on all façade, upper floors – 30%
- Vertically line up windows
- Windows more vertical than horizontal
- Minimum area of windows opening on first floor retail public facades – 70%
- Retail window must remain unobstructed on interior spaces.

Vertical Breaks

- Required every 30 feet minimum through use of offsets, fenestration, bay windows, balconies, balconettes or material change
- Maximum length of store front – 60 feet

Horizontal Breaks

- Required at a minimum of one (1) per every 24 feet of vertical height
- May use banding, setbacks or material change
- First floor retail shall have a minimum clear height of 16 feet

Roof Line

- Flat and mansard permitted
- Maximum length of roofline – 60 feet
- Minimum offset – 5 feet

Building Materials

- Brick
- Stone
- Stucco
- Synthetic trim boards

Roof Materials

- Architectural asphalt shingles
- Raised seam metal
- Tile
- Slate
- Metal panels (accent)

Appurtenances (Porches, Stoops, Balconies, Balconettes, Bay Windows)

- Store fronts encouraged to have awnings
- Store fronts must provide sign plate area
- Pop-out café windows are permitted
- Store fronts encouraged to be open and inviting to public
- Bay windows encouraged

Accessory Structures

- Structured parking is permitted
- Free standing garage is permitted

PUBLIC SPACE NOTES

- Front of buildings built to public sidewalk
- Street furniture and amenities encouraged
- Entry plazas and courts should be designed to welcome public use
- Large store front windows required on first floor. Windows may be framed in wood
- First floor retail
- Screening of loading, services and trash areas is required

SEMI PUBLIC SPACE NOTES

- All semi-public space (i.e. yards, courts, plazas) must be fully appointed with landscaping of trees, shrubs and groundcover or a combination of decorative paving and landscaping. Where appropriate seating and lighting shall be provided.
- Semi- public space must be separated from public space by either a low garden wall, decorative fence (maximum 6' high), hedge material or a combination of the three.

PRIVATE SPACE NOTES

- Storage space required
- Outdoor patio space required

EDGES, BUFFERS & TRANSITIONS NOTES

- Parking lots adjacent to street edges must be screened with 4 ½ foot high hedge or masonry wall.
- Parking adjacent to residential uses must be screened with a minimum six (6) foot high masonry wall or fence and must include a three (3) foot wide vegetated buffer that is a minimum of 6' high at the time of planting.
- Lighting must be screened from residential uses.

AMENITY NOTES

- Must provide at least one direct pedestrian connection between the parking and main street commercial per 150 feet of commercial frontage.
- Connection must be a minimum of 10 foot wide path with 5 foot wide landscaped edges.
- Must provide textured pedestrian crosswalks internal to parking lots.

PARKING AMENITIES/ACCESS NOTES

- Porous pavement and bio swales permitted
- Vehicle access from alley or secondary streets only
- Maximum one vehicle access point per secondary street frontage
- Lighting must be shielded from residential uses
- Must provide one pedestrian connection between parking and commercial main street every 200 feet minimum